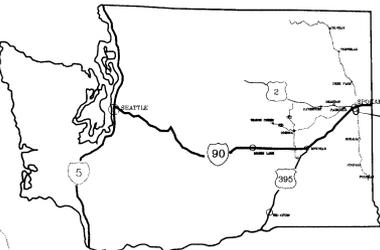


FREYA MEADOWS SHORT PLAT

SW QTR. S.3, T.24 N., R.43 E., W.M.

SHEET INDEX

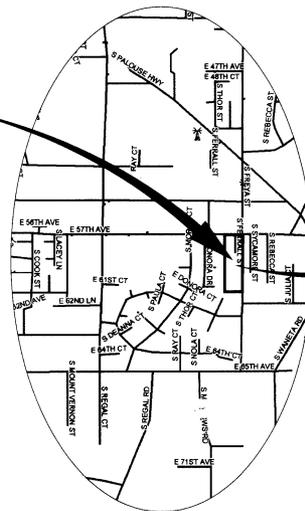
- 1 COVER SHEET
- 2 STREET PLAN & PROFILE
- 3 STORM PLAN & PROFILE
- 4 EROSION CONTROL



VICINITY MAP
N.T.S.

SPOKANE COUNTY, GENERAL NOTES

1. ALL MATERIALS, WORKMANSHIP & CONSTRUCTION OF SITE IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS & SPECIFICATIONS SET FORTH IN SPOKANE COUNTY REGULATIONS & APPLICABLE STATE & FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS & THE SPECIFICATIONS, OR APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK WITHIN PUBLIC R.O.W. OR EASEMENTS SHALL BE INSPECTED & APPROVED BY SPOKANE COUNTY. CONSTRUCTION OBSERVATION SERVICES & CERTIFICATION TO BE PROVIDED BY THE ENGINEER OF RECORD. ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY IS SUBJECT TO THE JURISDICTION OF THE SPOKANE COUNTY ENGINEERING DEPARTMENT STANDARDS DETAILS & SPECIFICATIONS.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION SHALL NOT BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS & ELEVATIONS, ESPECIALLY AT THE CONNECTION POINTS & AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER & SPOKANE COUNTY AT LEAST 48 HOURS PRIOR TO THE START OF ANY EARTH DISTURBING ACTIVITY OR CONSTRUCTION ON ANY & ALL PUBLIC IMPROVEMENTS.
4. THE CONTRACTOR SHALL COORDINATE & COOPERATE WITH THE SPOKANE COUNTY UTILITIES DEPARTMENT & ALL UTILITY COMPANIES WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION & TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION & WITH A MINIMUM DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICES.
5. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS & SPECIFICATIONS, & A COPY OF ANY PERMITS & EXTENSION AGREEMENTS NEEDED FOR THE JOB ON SITE AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, TRAFFIC CONTROL, & SECURITY.
7. IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED BY THE CONTRACTOR, HIS SUBCONTRACTORS, OR OTHER AFFECTED PARTIES, WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
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13. DIMENSIONS FOR LAYOUT & CONSTRUCTION SHALL NOT BE SCALED FROM THE DRAWINGS. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE CONSULTANT ENGINEER FOR CLARIFICATION & ANNOTATE THE DIMENSION ON THE RECORD DRAWINGS.
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16. ALL OPERATIONS CONDUCTED ON THE PREMISES, INCLUDING THE WARNING UP, REPAIR, ARRIVAL, DEPARTURE OR RUNNING OF TRUCKS, EARTH MOVING EQUIPMENT, CONSTRUCTION EQUIPMENT & ANY OTHER ASSOCIATED EQUIPMENT SHALL GENERALLY BE LIMITED TO THE PERIOD BETWEEN 6:00 AM & 10:00 PM EVERYDAY UNLESS OTHERWISE APPROVED BY SPOKANE COUNTY.
17. BASED ON A REQUIREMENT FROM SPOKANE COUNTY, THE ENGINEER OR HIS DESIGNEE SHALL PERFORM MATERIALS TESTING & OBSERVE VARIOUS ASPECTS OF CONSTRUCTION ON THE PROJECT. THE ENGINEER WILL SUBMIT COPIES OF DAILY REPORTS, TEST REPORTS, PROJECT CERTIFICATION & RECORD DRAWINGS TO THE SPOKANE COUNTY ENGINEER.
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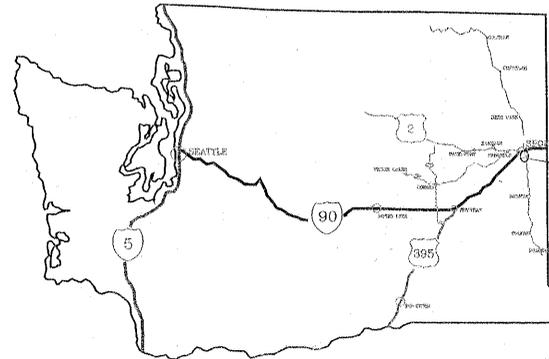


FREYA MEADOWS SHORT PLAT

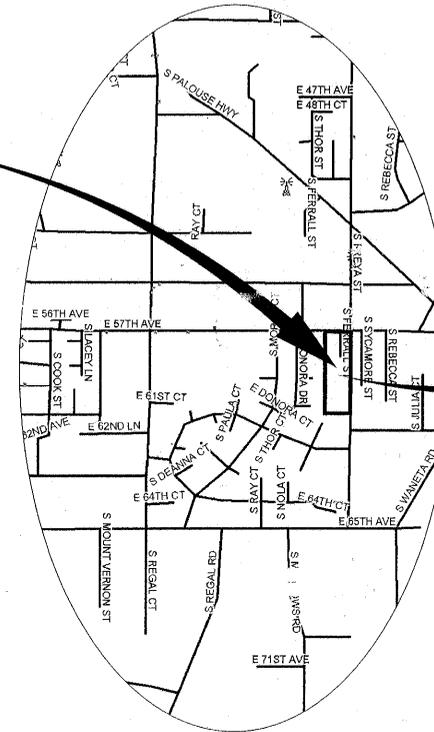
SW QTR. S.3, T.24 N., R.43 E., W.M.

SHEET INDEX

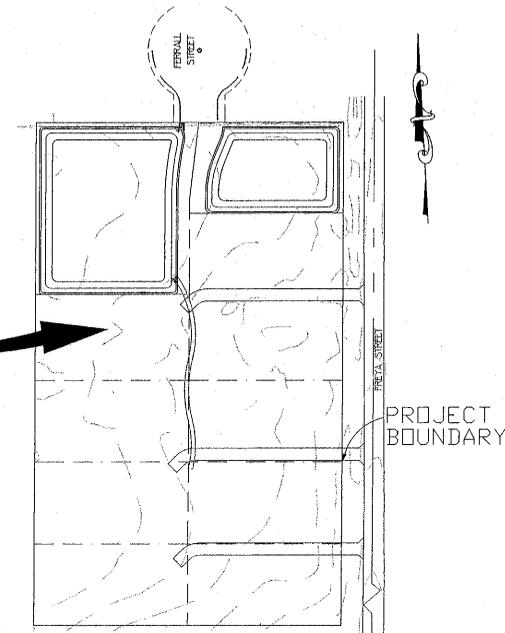
- 1 COVER SHEET
- 2 DRIVEWAY PLAN & PROFILE
- 3 OPEN CHANNEL PLAN & PROFILE
- 4 POND PLAN & PROFILE
- 5 EROSION CONTROL



VICINITY MAP
N.T.S.



LOCATION MAP
N.T.S.



SITE MAP
N.T.S.

SPOKANE COUNTY, GENERAL NOTES

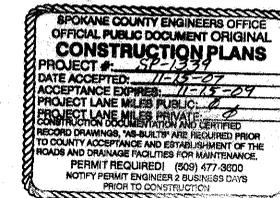
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SPONSOR'S ACKNOWLEDGMENT

MR. KENTON COX
PROJECT SPONSOR'S REPRESENTATIVE

ENGINEER'S CERTIFICATION

ENGINEER'S CERTIFICATION
THE DESIGN IMPROVEMENTS SHOWN IN THIS SET OF PLANS & CALCULATIONS CONFORM TO THE APPLICABLE EDITIONS OF THE SPOKANE COUNTY STANDARDS FOR ROAD & SEWER CONSTRUCTION & THE SPOKANE COUNTY GUIDELINES FOR STORM WATER MANAGEMENT. THE SPOKANE COUNTY ENGINEER HAS APPROVED ALL DESIGN DEVIATIONS. I APPROVE THESE PLANS FOR CONSTRUCTION



1. Supersedes 12/16/05 plans w/ internal rd.
2. Approval + certification limited to drainage.
3. Subject to Fire District No. 8 approval for driveways.

CALL
BEFORE YOU DIG
1-800-424-5555
ONE CALL NUMBER
48 HR. NOTICE REQUIRED

PROJECT SPONSOR:
KENTON COX
AB&K CONSTRUCTION, INC.
4018 S. 23RD AVE.
SPOKANE, WA 99223
PHONE: 1-509-535-3572

SURVEYOR:
RAMCO - MAINLAND LLC.
222 W MISSION AVE
SUITE 240
SPOKANE, WA 99201
PHONE: 1-509-322-4973
FAX: 1-509-329-1801

ENGINEER:
APEX COMPANIES, LLC.
18507 E. APPLEWAY AVE
SPOKANE VALLEY, WA 99016
PHONE: 1-509-922-4973
FAX: 1-509-922-1783

DRAWN BY: MEM
DATE: 3/14/2007
DRAWING NO.: COVERSUBSET_PGL.DWG

APPROVED BY: JAD
PROJECT NAME: FREYA MEADOWS SHORT PLAT
PROJECT NO.: DROWN002

DATE: REVISIONS:



18507 E. APPLEWAY AVENUE, SPOKANE VALLEY, WA 99016
Phone (509) 922-4973 Fax (509) 922-1783

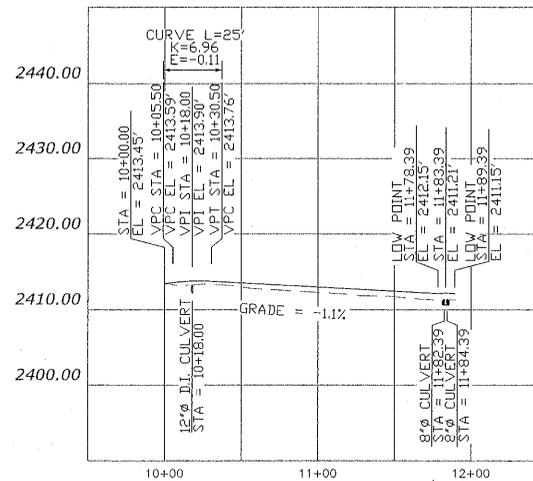
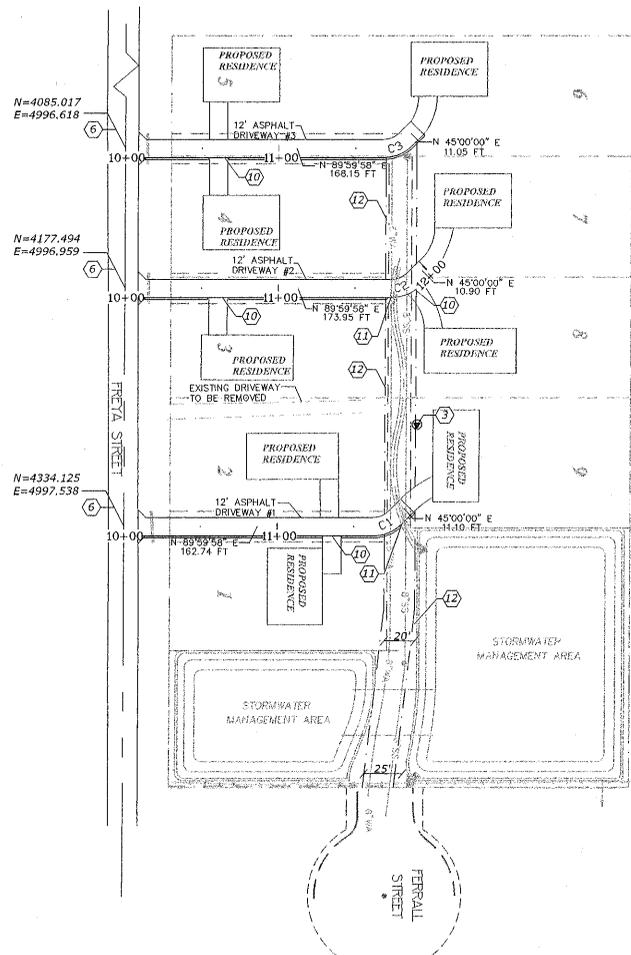
PROJECT: AB&K CONSTRUCTION, MR. KENTON COX
FREYA MEADOWS

SHEET NAME:

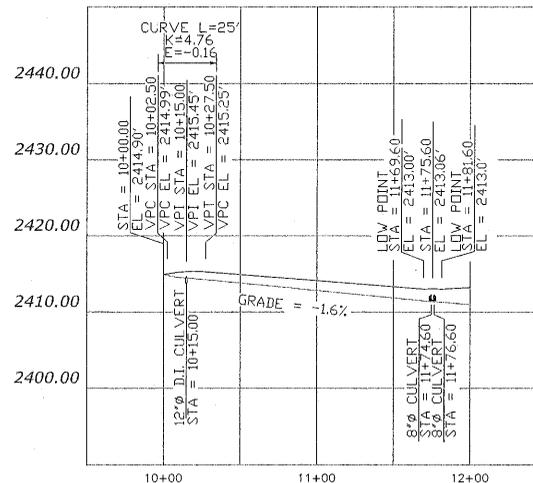
COVER SHEET

SHEET NO.
1/5

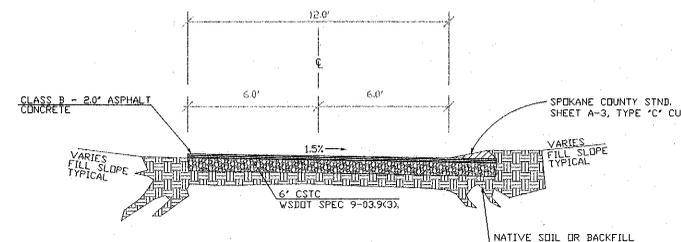
SP 1339 Eng/Arch/Drainage



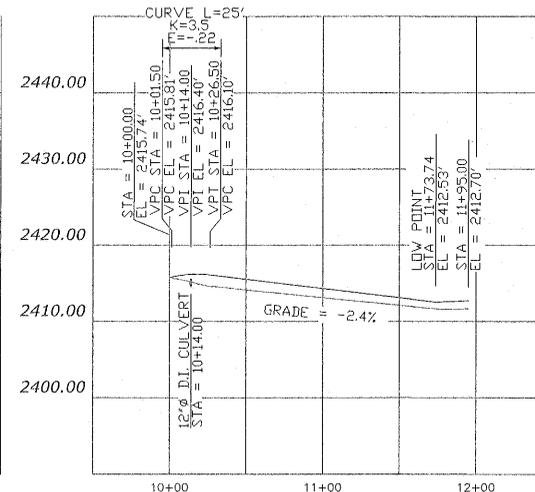
DRIVEWAY #1 PROFILE



DRIVEWAY #2 PROFILE



1 DETAIL - TYPICAL 12.0' SECTION
2 NTS



DRIVEWAY #3 PROFILE

- STREET CONSTRUCTION NOTES:
- REMOVE BUILDING & PROPERLY DISPOSE.
 - ABANDON SEPTIC TANK PER SPOKANE REGIONAL HEALTH DISTRICT RULES & REGULATIONS.
 - DECOMMISSION WELL PER WASHINGTON STATE DEPARTMENT OF HEALTH & ECOLOGY RULES & REGULATIONS (INCLUDING SUBMISSION OF REQUIRED FORMS & FEES).
 - PREPARE EXISTING GROUND SURFACE:
 - REMOVE TREES, BRUSH & SHRUBS
 - CLEAR & GRUB SURFACE & REMOVE ALL TOP SOIL AND SOIL TO A DEPTH BELOW ORGANICS.
 - PLACE FILL IN LAYERS NOT TO EXCEED 8" UNCONSOLIDATED & COMPACT TO 90% OF MAXIMUM DENSITY PER ASTM D-1557. THIS REQUIREMENT IS FOR EMBANKMENT FILL 2 FT. BELOW ROAD SURFACE & DEEPER. FROM 2 FT. BENEATH ROAD SURFACE TO SUBGRADE PLACE LIFTS NOT TO EXCEED 4" UNCONSOLIDATED & COMPACT TO 95% OF MAXIMUM DENSITY PER ASTM D-1557.
 - BEGIN DRIVEWAY STATIONING AT 0 OF FREYA STREET. 5x5' FLARE AT DRIVEWAY ENTRANCE OFF FREYA ST.
 - MAINTAIN 1.5% CROSS SLOPE.
 - NOT USED.
 - UTILITY EASEMENT EXISTS, BUT IS NOT SHOWN FOR CLARITY.
 - DO NOT INSTALL TYPE 'C' CURB IN FRONT OF RESIDENTIAL PARKING PADS.
 - DO NOT INSTALL TYPE 'C' CURB 5' EITHER SIDE OF OPEN CHANNEL. SEE DETAIL 3, SHEET 3.
 - 20' ACCESS EASEMENT ADJACENT TO PONDS AND ALONG SEWER / WATER CORRIDOR.

HARD SURFACE AREAS	
LOCATION	AREA
RDDFS	16200 SQFT
PARKING AREAS	3130 SQFT
DRIVEWAYS	6705 SQFT

CURVE TABLE					
NUMBER	DELTA ANGLE	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH
C1	44°59'58"	8.2842	20.0000	15.7078	15.3072
C2	44°59'58"	8.2842	20.0000	15.7078	15.3072
C3	44°59'58"	8.2842	20.0000	15.7078	15.3072

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SPONSOR'S ACKNOWLEDGMENT

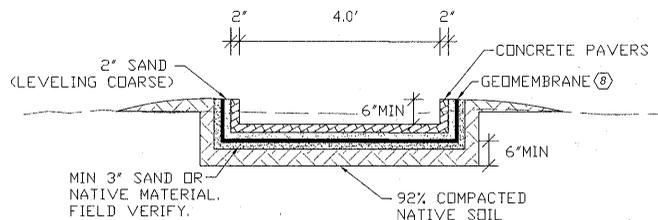
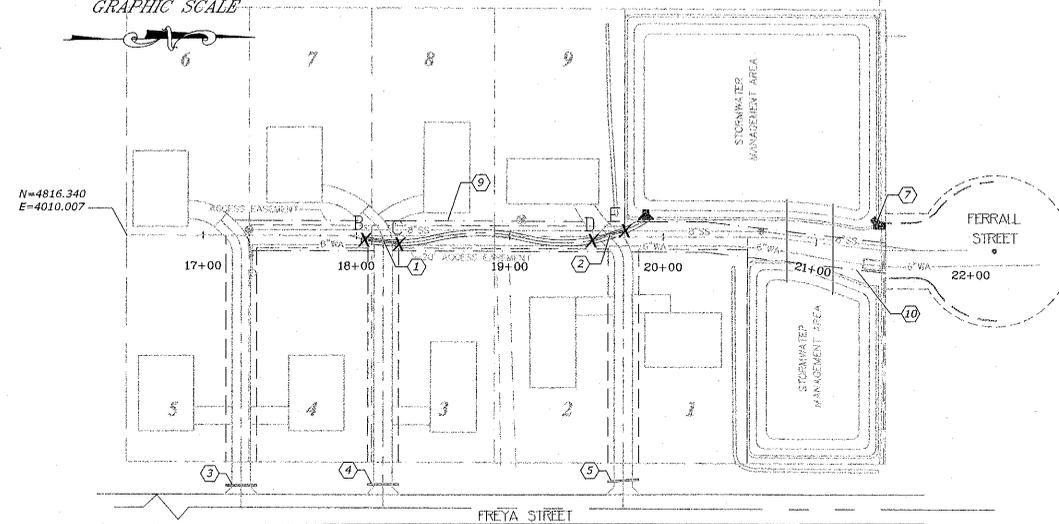
Kenton Cox
MR. KENTON COX
PROJECT SPONSOR'S REPRESENTATIVE

SPOKANE COUNTY ENGINEERS OFFICE
OFFICIAL PUBLIC DOCUMENT ORIGINAL
CONSTRUCTION PLANS
PROJECT # 21-15-01
DATE ACCEPTED: 11-15-07
ACCEPTANCE EXPIRES: 11-15-09
PROJECT LANE MILES PUBLIC: 0
PROJECT LANE MILES PRIVATE: 0
CONSTRUCTION DOCUMENTATION AND CERTIFIED RECORD DRAWINGS. "AS-BUILT" ARE REQUIRED PRIOR TO QUALITY ACCEPTANCE AND ESTABLISHMENT OF THE ROADS AND DRAINAGE FACILITIES FOR MAINTENANCE.
PERMIT REQUIRED! (509) 477-3200
NOTIFY PERMIT ENGINEER 2 BUSINESS DAYS PRIOR TO CONSTRUCTION.



50 0 50 150 FEET

GRAPHIC SCALE



1 DETAIL - OPEN CHANNEL SECTION

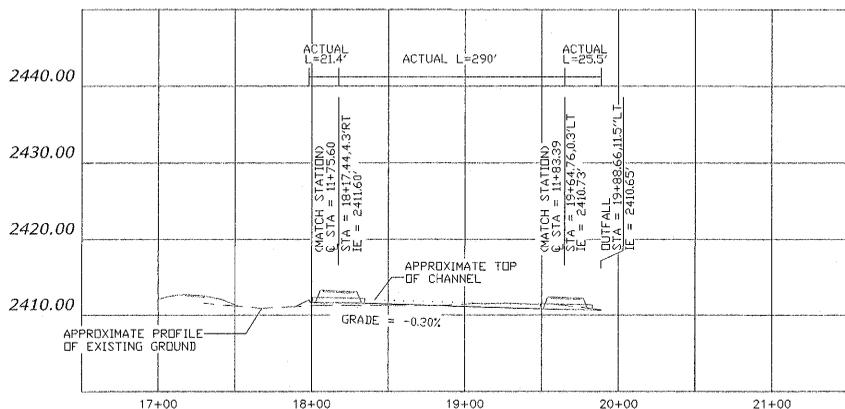
3 NTS

STATION & OFFSETS	
A	STA=17+30.00, 4.6'RT
B	STA=18+05.41, 2.7'RT
C	STA=18+27.81, 4.7'RT
D	STA=19+53.80, 2.4'RT
E	STA=19+75.27, 4.3'LT
F	STA=17+97.59, 7'RT
G	STA=18+50.48, 1.7'RT
H	STA=19+10.97, 1.4'RT
I	STA=19+88.66, 11.5'LT

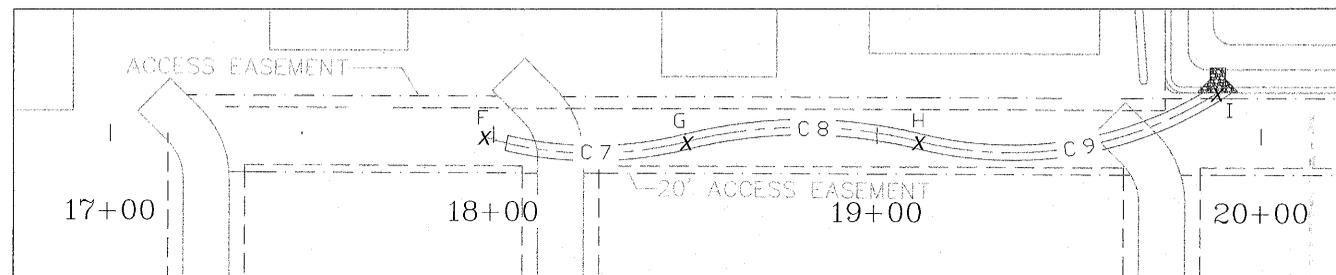
CURVE TABLE					
NUMBER	DELTA ANGLE	TANGENT	RADIUS	ARC LENGTH	CHORD LENGTH
C7	30°40'14"	27.4232	100.0000	53.5304	52.8936
C8	28°00'19"	31.1721	125.0000	61.0980	60.4916
C9	46°23'04"	42.8439	100.0000	80.9560	78.7633

CONSTRUCTION NOTES:

- 8" D.I. CULVERTS, L=22.5'. SEE DRIVEWAY PROFILES FOR LOCATIONS NORTH IE = 2411.58', SOUTH IE = 2411.65'; INVERTS ARE APPROXIMATE. FIELD VERIFY.
- 8" D.I. CULVERTS, L=22.5'. SEE DRIVEWAY PROFILES FOR LOCATIONS NORTH IE = 2410.73', SOUTH IE = 2410.80'; INVERTS ARE APPROXIMATE. FIELD VERIFY.
- 12" D.I. CULVERT, NORTH IE = 2414.45', SOUTH IE = 2414.65'.
- 12" D.I. CULVERT, NORTH IE = 2413.55', SOUTH IE = 2413.75'.
- 12" D.I. CULVERT, NORTH IE = 2412.10', SOUTH IE = 2412.30'.
- PLACE FILL IN LAYERS NOT TO EXCEED 8" UNCONSOLIDATED & COMPACT TO 90% OF MAXIMUM DENSITY PER ASTM D-1557. THIS REQUIREMENT IS FOR EMBANKMENT FILL 2 FT. BELOW ROAD SURFACE & DEEPER. FROM 2 FT. BENEATH ROAD SURFACE TO SUBGRADE PLACE LIFTS NOT TO EXCEED 4" UNCONSOLIDATED & COMPACT TO 95% OF MAXIMUM DENSITY PER ASTM D-1557.
- INSTALL RIP RAP FROM OUTLET TO EDGE OF EXISTING FERRALL ROAD ASPHALT.
- 20 MIL PVC GEOMEMBRANE MEETING ASTM D7176-06 STANDARD SPECIFICATION FOR NON-REINFORCED PVC GEOMEMBRANE USED IN BURIED APPLICATIONS.
- 20' ACCESS EASEMENT
- EASEMENT WIDENS TO 25'

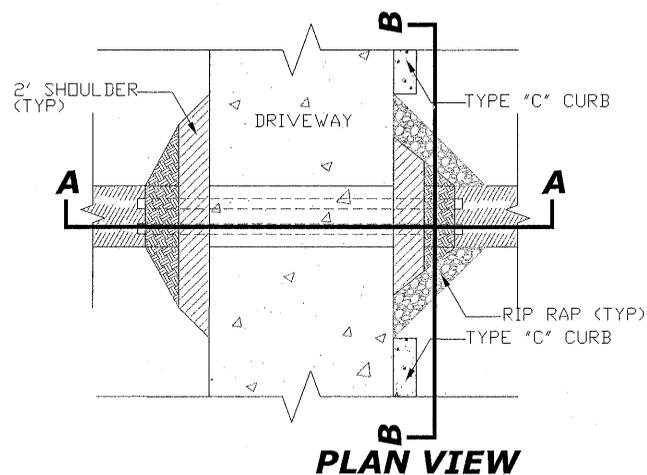


OPEN CHANNEL PROFILE



2 DETAIL - OPEN CHANNEL CENTERLINE ALIGNMENT

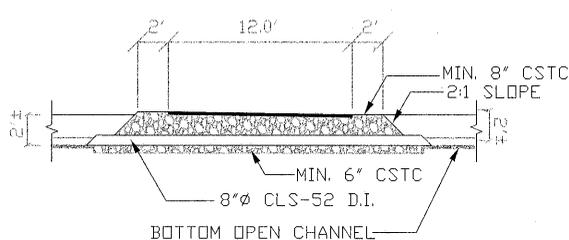
3 1:20 SCALE



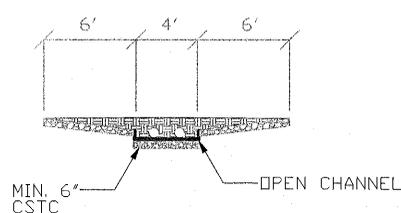
PLAN VIEW

3 DETAIL - OPEN CHANNEL / DRIVEWAY CROSSING

3 1:5 SCALE



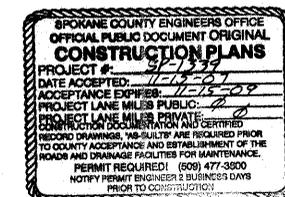
A-A SECTION VIEW



B-B SECTION VIEW

NOTES:

- TAPER RIP RAP FROM LOW POINT OF ASPHALT TO TOP OF OPEN CHANNEL.
- CMP TO EXTEND PAST OUTSIDE EDGE OF SHOULDER ON EACH SIDE.
- END TYPE 'C' CURB AT EDGE OF RIP RAP PATH.



SPONSOR'S ACKNOWLEDGMENT

MR. KENTON COX
PROJECT SPONSOR'S REPRESENTATIVE



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ONE CALL NUMBER
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DRAWN BY: MPM
DATE: 8/14/2007
DRAWING NO.: OPENCHANNEL_PGS.DWG

APPROVED BY: JAU
PROJECT NAME: FREYA MEADOWS SHORT PLAT
PROJECT NO.: BRQWNO602

DATE: REVISIONS

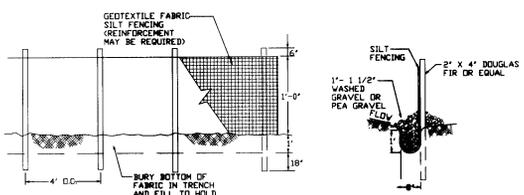
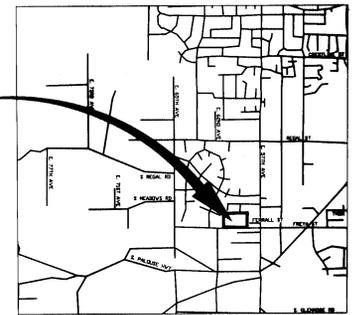
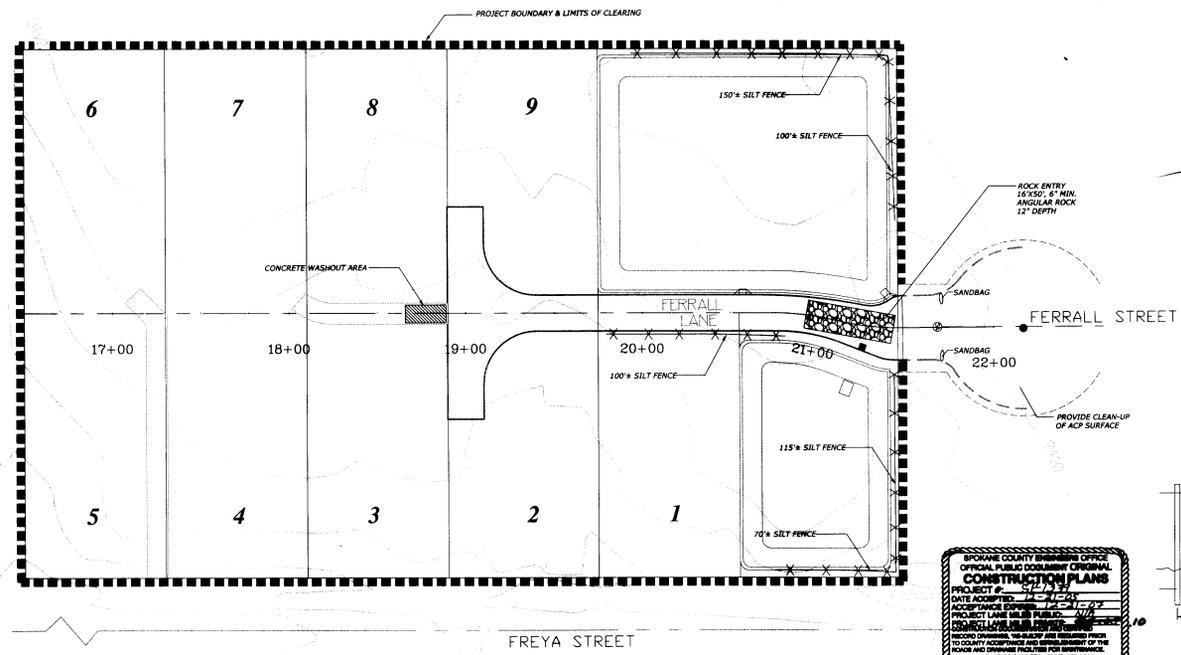
Apex
18507 E. APPLEWAY AVENUE, SPOKANE VALLEY, WA 99016
Phone (509)-922-4973 Fax (509) 922-1793

PROJECT: AB&K CONSTRUCTION, MR. KENTON COX
FREYA MEADOWS

SHEET NAME: OPEN CHANNEL PLAN & PROFILE
STA 16+50 TO 22+00

SHEET NO.: 315

SP-1339 Eng. And Drawings



SPOKANE COUNTY ENGINEER OFFICE
OFFICIAL PUBLIC DOCUMENT ORIGINAL
CONSTRUCTION PLANS
 PROJECT NO. 17-00000
 DATE APPROVED: 11/21/05
 PROJECT NAME: FREYA MEADOWS PROJECT
 PROJECT LOCATION: 1700 N. FREYA ST. SPOKANE, WA 99201
 PERMIT REQUIRED: YES 07-0000
 NOTES: SEE OTHER SHEETS FOR DETAILS

SPOKANE COUNTY EROSION CONTROL NOTES:

1. AN EROSION CONTROL (ESC) PLAN IS REQUIRED FOR THIS PROJECT. IMPLEMENTATION OF THE ESC PLAN & CONSTRUCTION, MAINTENANCE, & UPDATING OF THE ESC FACILITIES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL ALL CONSTRUCTION IS COMPLETED & ACCEPTED BY SPOKANE COUNTY, OR UNTIL VEGETATION IS ESTABLISHED THROUGHOUT THE PROJECT SITE, & ACCEPTED BY SPOKANE COUNTY, WHICHEVER IS LATER.
2. DUST CONTROL SHALL BE ACCOMPLISHED USING WATER OR APPROVED DUST PALLETATIVE. DUST CONTROL SHALL BE CONDUCTED DURING ALL CONSTRUCTION ACTIVITY.
3. THE CONTRACTOR SHALL DO NO CLEARING AND GRUBBING OR EARTHWORK BEFORE THE EROSION CONTROL PLAN HAS BEEN APPROVED BY THE COUNTY ENGINEER.
4. EROSION CONTROL, CONTROLLING POLLUTION, EROSION, RUN-OFF, AND RELATED DAMAGE MAY REQUIRE THE CONTRACTOR TO PERFORM TEMPORARY WORK ITEMS INCLUDING BUT NOT LIMITED TO:
 - A. PROVIDING DITCHES, BERMS, CULVERTS, AND OTHER MEASURES TO CONTROL SURFACE WATERS.
 - B. BUILDING DAMS, SETTLING BASINS, ENERGY DISSIPATORS, AND OTHER MEASURES TO CONTROL DOWNSTREAM FLOODS.
 - C. CONTROLLING UNDERGROUND WATER FOUND DURING CONSTRUCTION TO AVOID COLLAPSE AND BRIBING OF THE PERMANENT EROSION CONTROL MEASURES ARE WORKING.
5. THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TEMPORARY WATER POLLUTION CONTROL, ALL SOURCES OF MATERIAL, DISPOSAL SITES, AND HAUL ROADS NO SIDEN, GROUND, OR WATER OF ANY KIND SHALL BE PUMPED, DRAINED, OR OTHERWISE DISPERSED INTO THE DOWNSTREAM STORM SYSTEM.
6. APPROVAL OF THE ESC PLAN DOES NOT CONSTITUTE APPROVAL OF ANY OF THE PROPOSED ROAD, STORM DRAINAGE, GRADING, OR UTILITY DESIGN ELEMENTS SHOWN ON THE ESC PLAN.
7. THE EROSION/SEDIMENTATION CONTROL MEASURES SHOWN ARE THE MINIMUM REQUIREMENTS FOR THE ANTICIPATED SITES IDENTIFIED. THE CONTRACTOR SHALL INSPECT & MAINTAIN THESE ESC MEASURES DAILY. SEDIMENTATION CONTROL MEASURES AS NECESSARY TO PREVENT SEDIMENT-LADEN WATER FROM EITHER FLOWING OFF THE SITE, OR INTO EXISTING STORM DRAINAGE FACILITIES, SUCH AS DRY WELLS, CULVERTS, OR GRAVEL GALLERIES.
8. THE CONTRACTOR/DEVELOPER IS RESPONSIBLE FOR INSTALLING ROCK CONSTRUCTION ENTRIES AT ANY & ALL LOCATIONS USED TO ENTER OR EXIT THE PROJECT SITE. REMOVE BEFORE PLACING ROAD SURFACE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL TEMPORARY EROSION CONTROL MEASURES.
10. SEDIMENT BARRIERS SHALL BE INSPECTED, CLEANED AND REPAIRED AFTER EACH RAINFALL EVENT. REMOVE ALL SEDIMENT AND DEPOSIT ON SITE AFTER SEDIMENT BARRIERS ARE NO LONGER REQUIRED.
11. CONTRACTOR SHALL NOT REMOVE TEMPORARY ESC MEASURES UNTIL 30 DAYS AFTER THE SITE IS STABILIZED. ALL DISTURBED SOIL SHALL BE PERMANENTLY STABILIZED.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING DIRT, MUD AND OTHER CONSTRUCTION DEBRIS WHICH MAY ACCUMULATE ON PAVED STREETS ADJACENT TO THE SITE AS A RESULT OF CONSTRUCTION ACTIVITY. CLEANING SHALL BE ON AN "AS NEEDED" BASIS USING WATER UNDER PRESSURE. SWEEPING AND WATER SHALL BE USED WHEN WATER PRESSURE ALONE WILL NOT WASH THE CONSTRUCTION DEBRIS FROM THE STREET.
13. GEOTEXTILE FABRIC IS TO BE PLACED ON RIMS OF DRYWELLS, CATCH BASINS, & INLETS UNTIL SUCH TIME THE VEGETATION ON THE SITE IS ESTABLISHED & THREAT OF SEDIMENT DEPOSITION INTO THE DRAINAGE SYSTEM IS MITIGATED.

EROSION CONTROL INFORMATION

OWNER: MR CRAIG BROWN
 APEX PROPERTIES, LLC
CONTACT PERSON: MR. CRAIG BROWN
ADDRESS: SW. OF S. FREYA ST & E. 57TH AVE
 INTERSECTION, SPOKANE, WA 99203
LEGAL DESCRIPTION: SW QTR. S.3, T.24 N., R.43 E., W.M.
PREPARED BY: JOHN DELEO, PE
PROJECT: APPROXIMATELY 3.4 ACRE SUBDIVISION
ESC MEASURES: SILT FENCES PLACED IN NATURAL DRAWS, ROCK ENTRY & SANDBAGS IN GUTTER
EXISTING VEGETATION: DRYLAND GRASSES, SCATTERED TREES
WATER BODIES: NONE
ON-SITE SOILS: UH/LG & B/NG / P/IDE/B
DATE OF PLAN: NOVEMBER 3, 2005

PREPARED BY'S CERTIFICATION

THIS ESC PLAN MEETS THE REQUIREMENTS AS LISTED IN CHAPTER 4.5 OF THE SPOKANE COUNTY STORMWATER MANAGEMENT GUIDELINES.
 12/16/05
 JOHN DELEO, PE

CALL BEFORE YOU DIG
 456-8000
 ONE CALL NUMBER
 48 HR. NOTICE REQUIRED

PROJECT SPONSOR:

CRAIG BROWN
 APEX PROPERTIES LLC
 408 N MULLAN
 SPOKANE, WA 99208
 PHONE: 1-509-924-5506
 FAX: 1-509-924-5508

SURVEYOR:

RAMCO - MAINLAND LLC.
 222 W MISSION AVE
 SUITE 240
 SPOKANE, WA 99201
 PHONE: 1-509-329-1800
 FAX: 1-509-329-1801

ENGINEER:

DELEO & ASSOCIATES
 1611 N. WHELAN RD.
 LIBERTY LAKE, WA 99019
 PHONE: 1-509-922-4973
 FAX: 1-509-922-1783

SPONSOR'S ACKNOWLEDGMENT

Craig Brown
 MR. CRAIG BROWN
 PROJECT SPONSOR'S REPRESENTATIVE

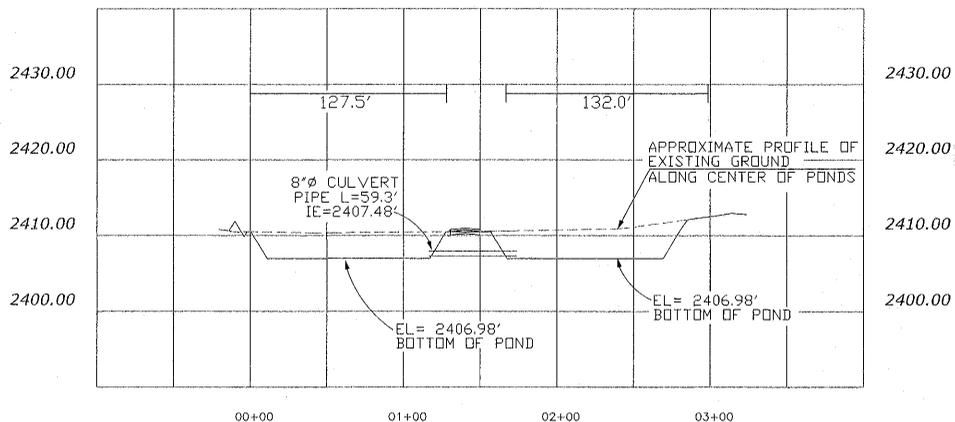


DATE: 12-16-05	APPROVED BY: JAD	DATE: 12/16/05	PROJECT NAME: FREYA MEADOWS PROJECT	PROJECT NO.: 17-00000	SCALE: AS SHOWN	PROJECT: 17-00000
DATE: 12-16-05	APPROVED BY: JAD	DATE: 12/16/05	PROJECT NAME: FREYA MEADOWS PROJECT	PROJECT NO.: 17-00000	SCALE: AS SHOWN	PROJECT: 17-00000
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DELEO & ASSOCIATES INC.
 1611 N. WHELAN RD. LIBERTY LAKE, WA 99019
 (509)-922-4973 Fax (509)-922-1783

APEX PROPERTIES, MR. CRAIG BROWN
FREYA MEADOWS

EROSION CONTROL PLAN



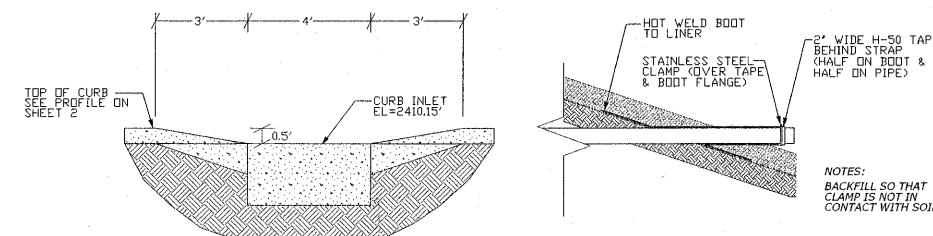
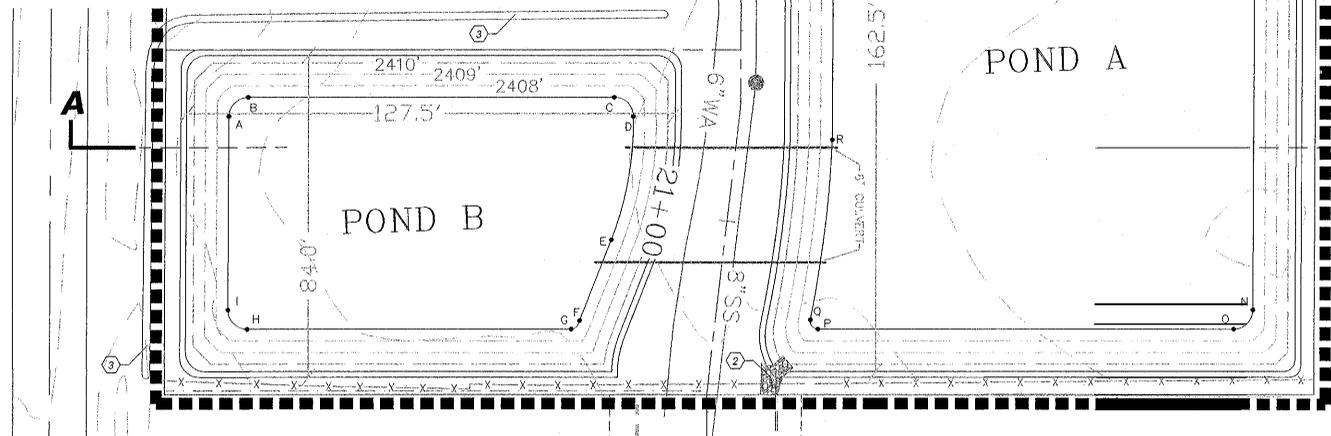
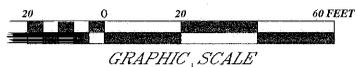
A-A POND PROFILE

SCALE: 1"=10' VERTICAL
1"=50' HORIZONTAL

- STORM CONSTRUCTION NOTES:
- INSTALL CURB INLET TYPE 1 PER SPOKANE COUNTY STANDARD PLAN B-8. LENGTH OF INLET, L = 5 FT. EL. = 2410.65'
 - INSTALL CURB INLET TYPE 1 PER SPOKANE COUNTY STANDARD PLAN B-8. LENGTH OF INLET, L = 5 FT. CURB INLET WILL SERVE AS EMERGENCY OVERFLOW STRUCTURE (EL. = 2410.15)
 - BERM - SEE GRADING PLAN.

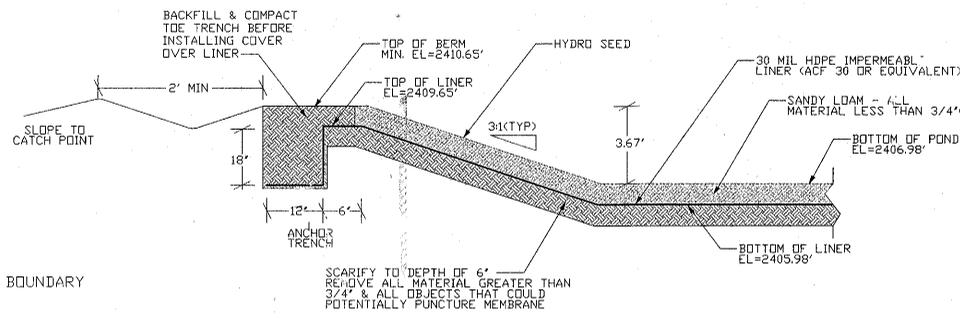
- POND CONSTRUCTION NOTES:
- SUBGRADE PREPARATION:** THE PREPARED SURFACE SHOULD BE SMOOTH UNIFORM, WELL COMPACTED, AND FREE OF SHARP OR LARGE ROCKS, TREE ROOTS, CONSTRUCTION DEBRIS, METALLIC OBJECTS, FROZEN SOIL OR OTHER DELETERIOUS MATERIAL. THE PREPARED SURFACE SHOULD NOT HAVE ANY OBJECTS THAT PROTRUDE ABOVE THE SURFACE OF THE SUBGRADE NOR ANY ABRUPT CHANGES IN GRADE.
- SUBGRADE SHOULD BE COMPACTED TO A MINIMUM OF 92% OF MAXIMUM DRY DENSITY PER ASTM D1557. VEHICULAR TRAFFIC ON THE COMPLETED SUBGRADE SHOULD BE LIMITED. ANY DISTURBANCE TO THE SUBGRADE SHOULD BE REPAIRED PRIOR TO PLACEMENT OF THE LINER.
- BACKFILLING OVER LINER:** VEHICLES SHOULD NOT TRAVEL ON THE UNPROTECTED LINER AT ANY TIME. THE LINER SHOULD BE PROTECTED BY PLACING A MINIMUM OF 12" OF 3/4"-MINUS MATERIAL (FREE OF SHARP OR OTHER DELETERIOUS OBJECTS) ON THE LINER AHEAD OF LIGHT EQUIPMENT (E.G., SMALL DOZER). A MINIMUM OF 36" OF 3/4"-MINUS MATERIAL (FREE OF SHARP OR OTHER DELETERIOUS OBJECTS) SHOULD BE PROVIDED BENEATH ANY LARGE EQUIPMENT (E.G., LOADED TRUCKS) THAT TRAVEL OVER THE LINER. SKID-STEER EQUIPMENT MUST MAKE LONG SWEEPING TURNS AT ALL TIMES.
- SEED:** CONTRACTOR SHALL SUBMIT CERTIFIED SEED INSPECTION CERTIFICATE INDICATING VARIETY, PURITY & % GERMINATION.
- BACKFILL & EMBANKMENT:** BACKFILL TO SUB GRADE ELEVATION & DEPTHS AS INDICATED IN THE DRAWINGS OR TO MATCH SURROUNDING GRADES. SPECIAL CARE SHALL BE TAKEN TO ASSURE THE COMPLETE COMPACTION AROUND THE HAUNCHES OF ANY PIPE INSTALLED. BEDDING MATERIAL SHALL BE PLACED IN THE TRENCH FOR ITS FULL WIDTH ON EACH SIDE OF THE PIPE SIMULTANEOUSLY. SYSTEMATICALLY BACKFILL TO ALLOW MAXIMUM TIME FOR COMPACTATION & SETTLEMENT. DO NOT BACKFILL OVER POROUS, WET, FROZEN OR SPONGY SUB GRADE SURFACES. WHERE REQUIRED, OR AS DIRECTED BY THE ENGINEER, PLACE GEOTEXTILE MATERIAL BETWEEN SUB GRADE & BACKFILL MATERIALS. PLACEMENT OF GEOTEXTILE SHALL BE AS INDICATED IN THE DRAWINGS OR AS DIRECTED BY THE ENGINEER. BACKFILL OVER-EXCAVATED AREAS WITH STRUCTURAL FILL MATERIAL & COMPACT AS SPECIFIED. BACKFILL IN MAXIMUM 8" LIFT (LOOSE PLACEMENT).
- FILL UNDER LANDSCAPED AREAS:** FILL NATIVE MATERIAL, MAXIMUM 8" LIFT (LOOSE PLACEMENT) COMPACTED TO 90% 6 INCHES BELOW FINISH GRADE, & BORROW FILL, MAXIMUM 8" LIFT (LOOSE PLACEMENT) COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D1557.
- LEVELING PIPE:** 8" PVC C-900, BEVELED TO MATCH SLOPE, COMPACT SUBGRADE UNDER PIPE. APPROXIMATE LENGTH 55'-60" EACH.
- EMBANKMENT:** COMPACT TO 95% OF MAXIMUM DENSITY.

POND LAYOUT TABLE			
POINT	STATIONING	POINT	STATIONING
A	20+70.15,133.12'RT	M	19+92.03,133.94'LT
B	20+68.00,128.47'RT	N	20+99.43,138.08'LT
C	20+67.63,33.02'RT	O	21+02.51,134.07'LT
D	20+72.43,28.04'RT	P	21+24.64,27.73'LT
E	21+11.83,29.62'RT	Q	21+22.12,25.43'LT
F	21+30.10,34.25'RT	R	20+77.85,24.04'LT
G	21+32.09,36.24'RT		
H	21+36.51,120.47'RT		
I	21+33.96,125.82'RT		
J	19+92.41,24.01'LT		
K	19+87.41,28.99'LT		
L	19+87.04,128.92'LT		



1 4 NTS
DETAIL - OVERFLOW STRUCTURE (PROFILE VIEW)

3 4 NTS
TYPICAL BOOT SECTION



2 4 NTS
DETAIL - POND CROSS SECTION W/ ANCHOR TRENCH

RETENTION POND A CRITERIA
 RETENTION VOLUME= 37,476 CUBIC FT.
 OVERFLOW VOLUME= 57,252 CUBIC FT.
 BOTTOM ELEV.= 2,406.98', AREA= 15,543.03'
 RETENTION ELEV.= 2,409.15', AREA= 18,997.19'
 ELEV. AT OVERFLOW= 2,410.15', AREA= 20,577.81'

RETENTION POND B CRITERIA
 RETENTION VOLUME= 15,609 CUBIC FT.
 OVERFLOW VOLUME= 24,419 CUBIC FT.
 BOTTOM ELEV.= 2,406.98', AREA= 6,073.04'
 RETENTION ELEV.= 2,409.15', AREA= 8,912.83'
 ELEV. AT OVERFLOW= 2,410.15', AREA= 9,333.31'

COMBINED RETENTION POND CRITERIA
 RETENTION VOLUME= 53,085 CUBIC FT.
 TOTAL VOLUME= 81,671 CUBIC FT.
 BOTTOM ELEV.= 2,406.98', AREA= 21,616.07'
 RETENTION ELEV.= 2,409.15', AREA= 27,310.08'
 ELEV. AT OVERFLOW= 2,410.15', AREA= 29,911.11'

CALL BEFORE YOU DIG
 1-800-424-5555
 ONE CALL NUMBER
 48 HR. NOTICE REQUIRED

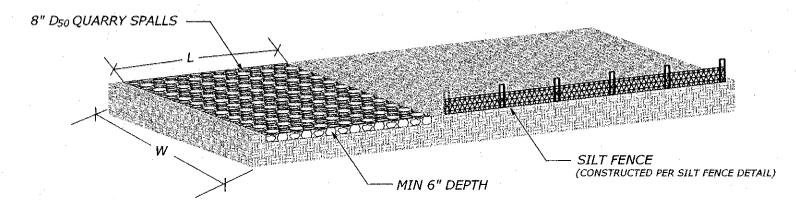
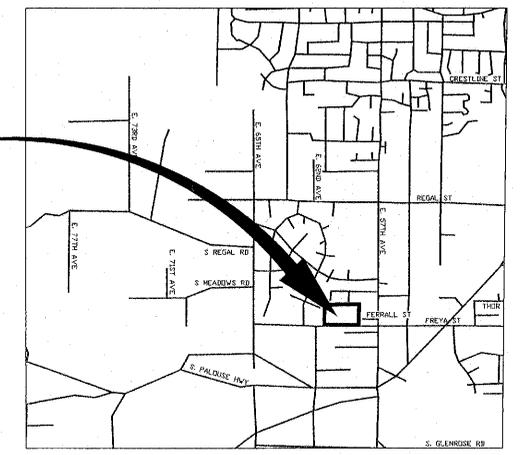
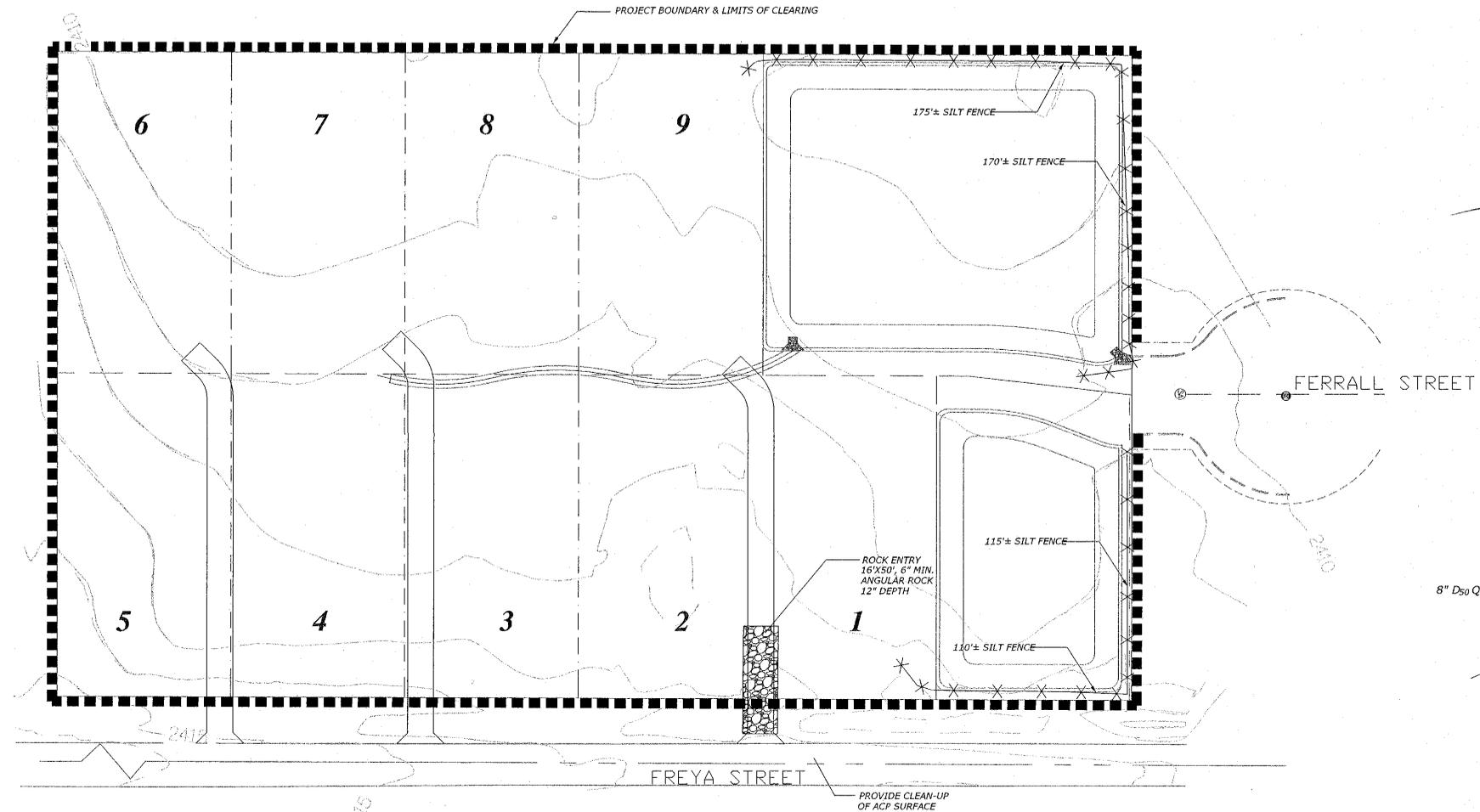
SPONSOR'S ACKNOWLEDGMENT

Kenton Cox
 MR. KENTON COX
 PROJECT SPONSOR'S REPRESENTATIVE

SPOKANE COUNTY ENGINEERS OFFICIAL PUBLIC DOCUMENT ORIGINAL CONSTRUCTION PLANS
 PROJECT # 21-11507
 DATE ACCEPTED 11-13-09
 ACCEPTANCE ENGINEER: [Signature]
 PROJECT LANE MILES PUBLIC: 0
 PROJECT LANE MILES PRIVATE: 0
 RECORD DRAWINGS: NO-SUBMIT ARE REQUIRED PRIOR TO COUNTY ACCEPTANCE AND ESTABLISHMENT OF THE TRENCH AND DRAINAGE FACILITIES FOR MAINTENANCE.
 PERMIT REQUIRED: (809) 477-3600
 NOTIFY PERMIT ENGINEER'S BUSINESS DAYS PRIOR TO CONSTRUCTION

MICHAEL K. NILSSON
 PROFESSIONAL ENGINEER
 EXPIRES 6/12/09

SP-1339 Eng'nd Drawing



ROCK ENTRY DETAIL

NOTE: 1. FOR L & W SEE PLAN VIEW

ENGINEER:
APEX COMPANIES, LLC.
18507 E. APPLEWAY AVE
SPOKANE VALLEY, WA 99016
PHONE: 1-509-922-4973
FAX: 1-509-922-1783

PROJECT SPONSOR:
KENTON COX
AB&K CONSTRUCTION, INC.
4018 E. 23RD AVE.
SPOKANE, WA 99223
PHONE: 1-509-535-3572

SURVEYOR:
RAMCO - MAINLAND LLC.
222 W MISSION AVE
SUITE 240
SPOKANE, WA 99201
PHONE: 1-509-329-1800
FAX: 1-509-329-1801

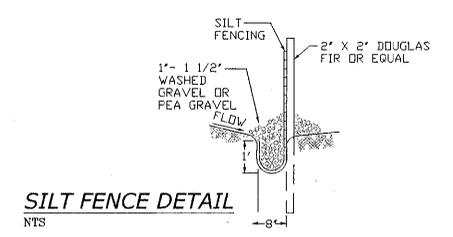
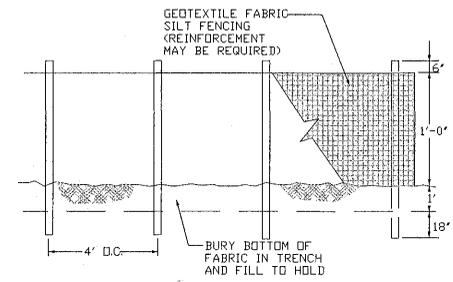
CALL
BEFORE YOU DIG
1-800-424-5555
ONE CALL NUMBER
48 HR. NOTICE REQUIRED

SPOKANE COUNTY STANDARD NOTES FOR CONSTRUCTION PLANS:

- ALL WORK AND MATERIALS SHALL BE IN CONFORMANCE WITH THE "SPOKANE COUNTY STANDARDS FOR ROAD AND SEWER CONSTRUCTION" 1995, AND AS AMENDED.
- LOCATIONS OF EXISTING UTILITIES SHOWN IN PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES. ANY CONFLICTING UTILITIES SHALL BE RELOCATED PRIOR TO CONSTRUCTION OF ROAD AND DRAINAGE FACILITIES.
- THE CONTRACTOR IS REQUIRED TO HAVE A COMPLETE SET OF APPROVED ROAD AND DRAINAGE PLANS ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- IF THE CONTRACTOR DISCOVERS ANY DISCREPANCIES BETWEEN THE PLANS AND EXISTING CONDITIONS ENCOUNTERED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER AND THE SPOKANE COUNTY ENGINEER'S OFFICE.
- ONSITE GRADING SHALL BE IN ACCORDANCE WITH THE APPROVED GRADING PLAN AND ESC PLAN. ANY IMPORT OR EXPORT OF MATERIAL SHALL BE FROM A PREAPPROVED SOURCE / DESTINATION AND COORDINATED WITH THE SPOKANE COUNTY DEPARTMENT OF BUILDING AND PLANNING AT 477-3675. GRADING ON THIS SITE OR ANY OTHER SITE MUST COMPLY WITH ALL DEVELOPMENT REGULATIONS INCLUDING, BUT NOT LIMITED TO, GRADING PERMITS, SEPA REVIEW, TIMBER HARVEST PERMITS, CRITICAL AREAS, FLOOD PLAINS, DESIGNATED DRAINAGE WAYS, ETC.
- PRIOR TO SITE CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR LOCATING UNDERGROUND UTILITIES. CALL THE UNDERGROUND UTILITY LOCATION SERVICE AT 1-800-424-5555 BEFORE YOU DIG.

SPOKANE COUNTY EROSION CONTROL NOTES:

- AN EROSION CONTROL (ESC) PLAN IS REQUIRED FOR THIS PROJECT. IMPLEMENTATION OF THE ESC PLAN, & CONSTRUCTION, MAINTENANCE, & UPGRADING OF THE ESC FACILITIES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL ALL CONSTRUCTION IS COMPLETED & ACCEPTED BY SPOKANE COUNTY, OR UNTIL VEGETATION IS ESTABLISHED THROUGHOUT THE SITE, & ACCEPTED BY SPOKANE COUNTY, WHICHEVER IS LATER.
- DUST CONTROL SHALL BE ACCOMPLISHED USING WATER OR APPROVED DUST PALLIATIVE. DUST CONTROL SHALL BE CONDUCTED DURING ALL CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL DO NO CLEARING AND GRUBBING OR EARTHWORK BEFORE THE EROSION CONTROL PLAN HAS BEEN APPROVED BY THE COUNTY ENGINEER.
- EROSION CONTROL: CONTROLLING POLLUTION, EROSION, RUN-OFF, AND RELATED DAMAGE MAY REQUIRE THE CONTRACTOR TO PERFORM TEMPORARY WORK ITEMS INCLUDING BUT NOT LIMITED TO:
 - PROVIDING DITCHES, BERMS, CULVERTS, AND OTHER MEASURES TO CONTROL SURFACE WATER.
 - BUILDING DAMS, SETTLING BASINS, ENERGY DISSIPATORS, AND OTHER MEASURES, TO CONTROL DOWNSTREAM FLOWS.
 - CONTROLLING UNDERGROUND WATER FOUND DURING CONSTRUCTION.
 - COVERING OR OTHERWISE PROTECTING SLOPES UNTIL PERMANENT EROSION CONTROL MEASURES ARE WORKING.
- THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TEMPORARY WATER POLLUTION CONTROL IN ALL SOURCES OF MATERIAL, DISPOSAL SITES, AND HAUL ROADS. NO STORM, GROUND, OR WATER OF ANY KIND SHALL BE PUMPED, DRAINED, OR OTHERWISE DISPERSED INTO THE DOWNSTREAM STORM SYSTEM.
- APPROVAL OF THE ESC PLAN DOES NOT CONSTITUTE APPROVAL OF ANY OF THE PROPOSED ROAD, STORM, DRAINAGE, GRADING, OR UTILITY DESIGN ELEMENTS SHOWN ON THE ESC PLAN.
- THE EROSION/SEDIMENTATION CONTROL MEASURES SHOWN ARE THE MINIMUM REQUIREMENTS FOR THE ANTICIPATED SITE CONDITIONS. THE CONTRACTOR SHALL INSPECT & MAINTAIN THESE ESC MEASURES DAILY, & SHALL MAINTAIN & UPGRADE THESE MEASURES AS NECESSARY TO PREVENT SEDIMENT-LADEN WATER FROM EITHER FLOWING OFF THE SITE, OR INTO NEW/EXISTING STORM DRAINAGE FACILITIES, SUCH AS DRY WELLS, CULVERTS, OR GRAVEL GALLERIES.
- THE CONTRACTOR/DEVELOPER IS RESPONSIBLE FOR INSTALLING ROCK CONSTRUCTION ENTRIES AT ANY & ALL LOCATIONS USED TO ENTER OR EXIT THE PROJECT SITE. REMOVE BEFORE PLACING ROAD SURFACE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF ALL TEMPORARY EROSION CONTROL MEASURES.
- SEDIMENT BARRIERS SHALL BE INSPECTED, CLEANED AND REPAIRED AFTER EACH RUNOFF EVENT. REMOVE ALL SEDIMENT AND DEPOSIT ON SITE AFTER SEDIMENT BARRIERS ARE NO LONGER REQUIRED.
- CONTRACTOR SHALL NOT REMOVE TEMPORARY ESC MEASURES UNTIL 30 DAYS AFTER THE SITE IS STABILIZED. ALL DISTURBED SOIL SHALL BE PERMANENTLY STABILIZED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING DIRT, MUD AND OTHER CONSTRUCTION DEBRIS WHICH MAY ACCUMULATE ON PAVED STREETS ADJACENT TO THE SITE AS A RESULT OF CONSTRUCTION ACTIVITY. CLEANING SHALL BE ON AN "AS NEEDED" BASIS USING WATER UNDER PRESSURE. SWEEPING AND WATER SHALL BE USED WHEN WATER PRESSURE ALONE WILL NOT WASH THE CONSTRUCTION DEBRIS FROM THE STREET.
- GEOTEXTILE FABRIC IS TO BE PLACED ON RIMS OF DRYWELLS, CATCH BASINS, & INLETS UNTIL SUCH TIME THE VEGETATION ON THE SITE IS ESTABLISHED & THREAT OF SEDIMENT DEPOSITION INTO THE DRAINAGE SYSTEM IS MITIGATED.



SILT FENCE DETAIL N.T.S.

SPONSOR'S ACKNOWLEDGMENT

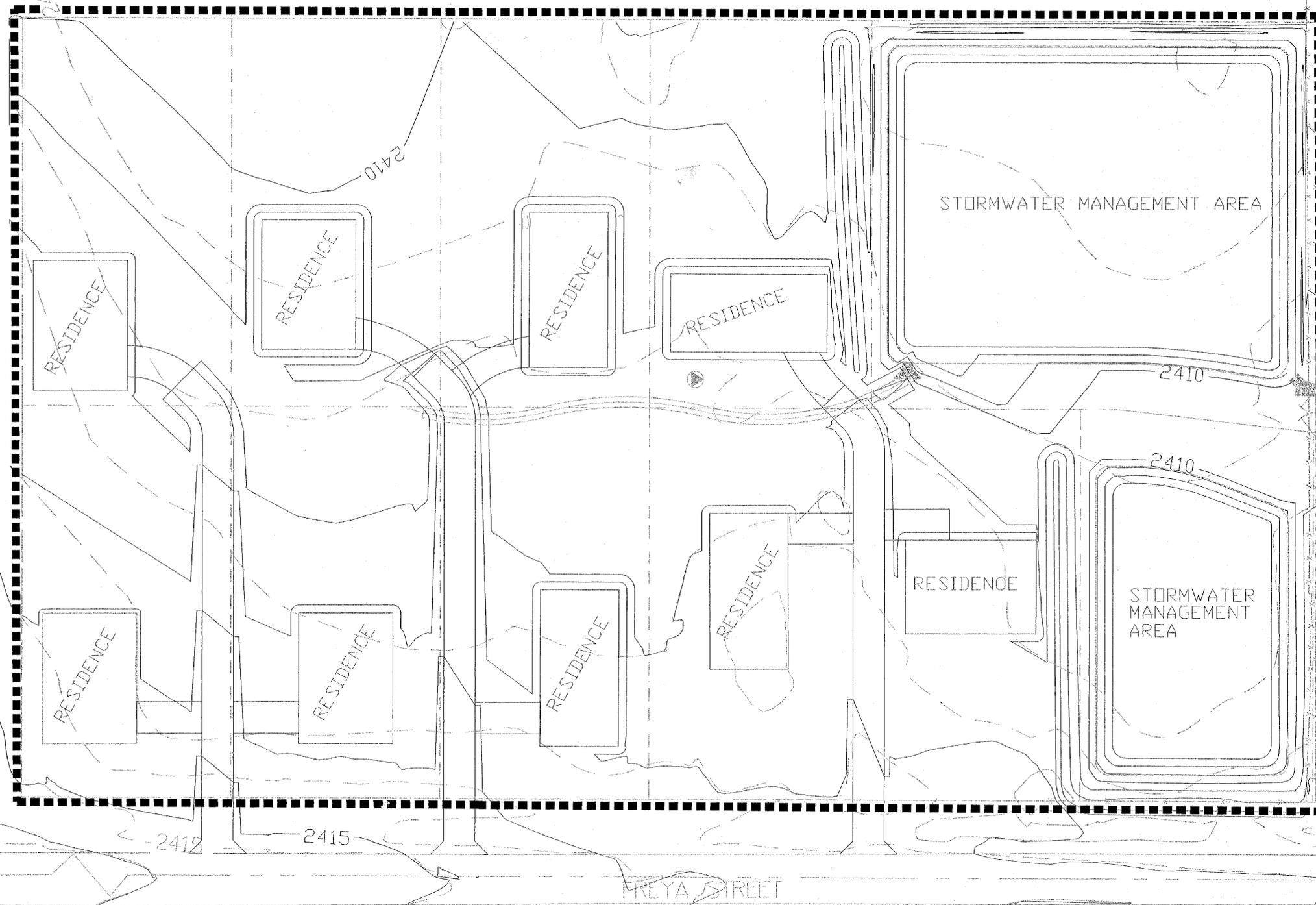
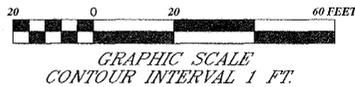
[Signature]
MR. KENTON COX
PROJECT SPONSOR'S REPRESENTATIVE

PREPARER'S CERTIFICATION

THIS ESC PLAN MEETS THE REQUIREMENTS AS LISTED IN CHAPTER 4.5 OF THE SPOKANE COUNTY STORMWATER MANAGEMENT GUIDELINES.

SPOKANE COUNTY ENGINEERS OFFICE
OFFICIAL PUBLIC DOCUMENT ORIGINAL CONSTRUCTION PLANS
PROJECT #: SP-1339
DATE ACCEPTED: 11-15-07
ACCEPTANCE EXPIRES: 11-15-09
PROJECT LANE MILES PUBLIC: 0.0
CONSTRUCTION DOCUMENTATION AND CERTIFIED RECORD DRAWINGS HAS-BUILT ARE REQUIRED PRIOR TO COUNTY ACCEPTANCE AND ESTABLISHMENT OF THE ROADS AND DRAINAGE FACILITIES FOR MAINTENANCE. PERMIT REQUIRED! (509) 477-3000 NOTIFY PERMIT ENGINEER 2 BUSINESS DAYS PRIOR TO CONSTRUCTION

MICHAEL K. NILSSON
PROFESSIONAL ENGINEER
11/15/07
EXPIRES 11/15/09



SPOKANE COUNTY ENGINEERS OFFICE
 OFFICIAL PUBLIC DOCUMENT ORIGINAL
CONSTRUCTION PLANS
 PROJECT #: SP-1339
 DATE ACCEPTED: 11-16-07
 ACCEPTANCE EXPIRES: 11-16-08
 PROJECT LANE MILES PUBLIC: 0
 PROJECT LANE MILES PRIVATE: 0
 CONSTRUCTION DOCUMENTATION AND CERTIFIED RECORD DRAWINGS AND QUALITY ARE REQUIRED PRIOR TO COUNTY ACCEPTANCE AND ESTABLISHMENT OF THE ROAD AND DRAINAGE FACILITIES FOR MAINTENANCE.
 PERMIT REQUIRED! (509) 477-3900
 NOTIFY PERMIT BY 10:00 AM BUSINESS DAYS PRIOR TO CONSTRUCTION!

SPONSOR'S ACKNOWLEDGMENT

Kenton Cox
 MR. KENTON COX
 PROJECT SPONSOR'S REPRESENTATIVE



NOTE TO REVISION AGENCY:
 LOCATION OF PROPOSED RESIDENCE
 ARE APPROXIMATE. CONSTRUCTION
 LOCATION WILL VARY.

DRAWN BY: MRM
 DATE: 8/14/2007
 DRAWING NO.: GRADING_PG8.DWG

APPROVED BY: JAD
 PROJECT NAME: FREYA MEADOWS SHORT PLAT
 PROJECT NO.: BROWN0602

DATE	REVISIONS

Apex
 18507 E. APPLEWAY AVENUE, SPOKANE VALLEY, WA 99016
 Phone (509) 922-4973 Fax (509) 922-1783

PROJECT: **AB&K CONSTRUCTION, MR. KENTON COX**
FREYA MEADOWS

SHEET NAME: **MASTER GRADING PLAN**
 SHEET NO.: **6**

SP-1339 Eng Road Drainage