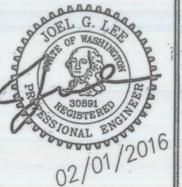


METRO ENGINEERING, INC.
 3929 E. BOONE AVENUE
 SPOKANE, WA 99202
 (509) 624-9351



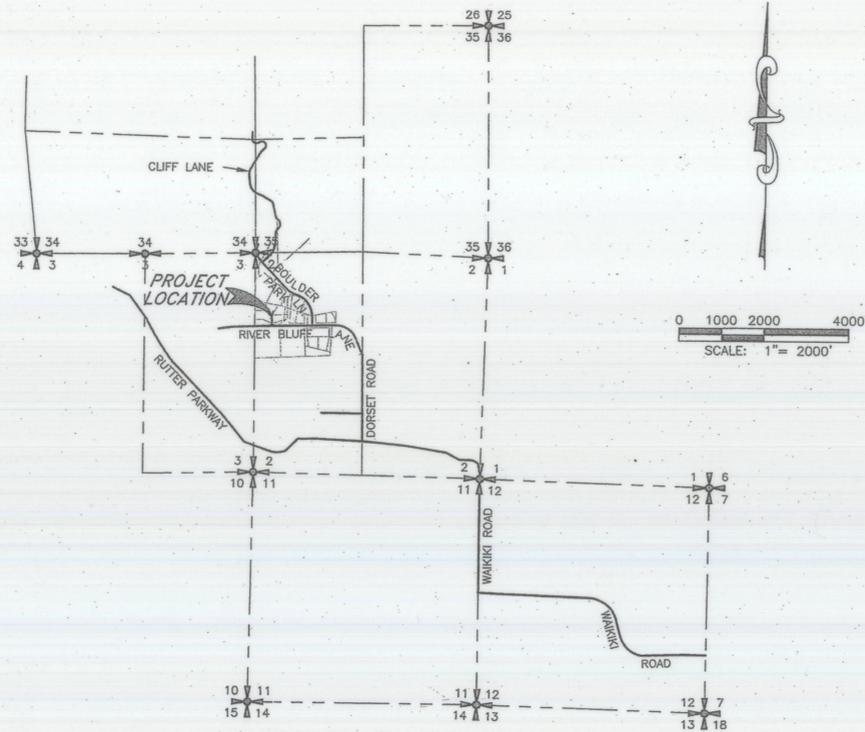
DRAWN BY: resp
 CHECKED BY: JGL
 DATE: 02/01/2016
 SCALE: AS SHOWN

RECORD DRAWING
RIVER BLUFF RURAL CLUSTER - 1ST ADDITION
LUNA LANE
COVER SHEET

SHEET
 1 OF 3
 03-007.1

SHEET INDEX

- 1 COVER SHEET
- 2 LUNA LANE and LUNA LANE HAMMERHEAD PLAN & PROFILE
- 3 DETAILS AND EROSION CONTROL NOTES



PROJECT VICINITY MAP

PORTIONS OF NW 1/4 OF SECTION 2, T. 26 N., R. 42 E. W.M.
 SPOKANE COUNTY, WASHINGTON



LEGAL DESCRIPTION:

Portions of the NW 1/4 of Section 2,
 Township 26 North, Range 42 East, W.M.,
 Spokane County, Washington.



RECORD DRAWING for

SAN. SEWER WATER DISTRIBUTION STREET/ROAD DRAINAGE
 OTHER

1. INFORMATION OBTAINED FROM:
 BUDINGER AND ASSOCIATES
 METRO ENGINEERING, INC.'S SITE VISITS
2. CONTRACTOR: Pauletto Trucking/Excavation, & Diamond Asphalt
 CONSTRUCTION PERIOD: SPRING, 2016
3. DRAWING REVISIONS BY: JGL DATE: 6/16/16
4. CHECKED BY: JGL DATE: 6/20/16

RECORD DRAWING STATEMENT:
 I have reviewed the construction and to my knowledge find it to be in substantial conformance with the approved plans and standard specifications, except as noted.

ENGINEER'S STATEMENT:

THE DESIGN IMPROVEMENTS SHOWN IN THIS SET OF PLANS AND CALCULATIONS CONFORM TO THE APPLICABLE EDITIONS OF THE SPOKANE COUNTY STANDARDS FOR ROAD AND SEWER CONSTRUCTION AND THE SPOKANE COUNTY GUIDELINES FOR STORMWATER MANAGEMENT. ALL DESIGN DEVIATIONS HAVE BEEN APPROVED BY THE SPOKANE COUNTY ENGINEER. I APPROVE THESE PLANS FOR CONSTRUCTION.

PROJECT NOTES:

NAME OF PROPERTY OWNER:
 RIVER BLUFF WEST PARTNERS, LLC.

NAME OF PERMIT APPLICANT:
 CHRIS HEFTEL

NAME OF CONTACT PERSON AT PROJECT SITE:
 CHRIS HEFTEL
 4425 W. LOOKOUT MTN. LANE #A
 SPOKANE, WA 99208 Phone: 509-995-2899

PROJECT ADDRESS:
 LUNA LANE (NEW) AT RIVER BLUFF LANE

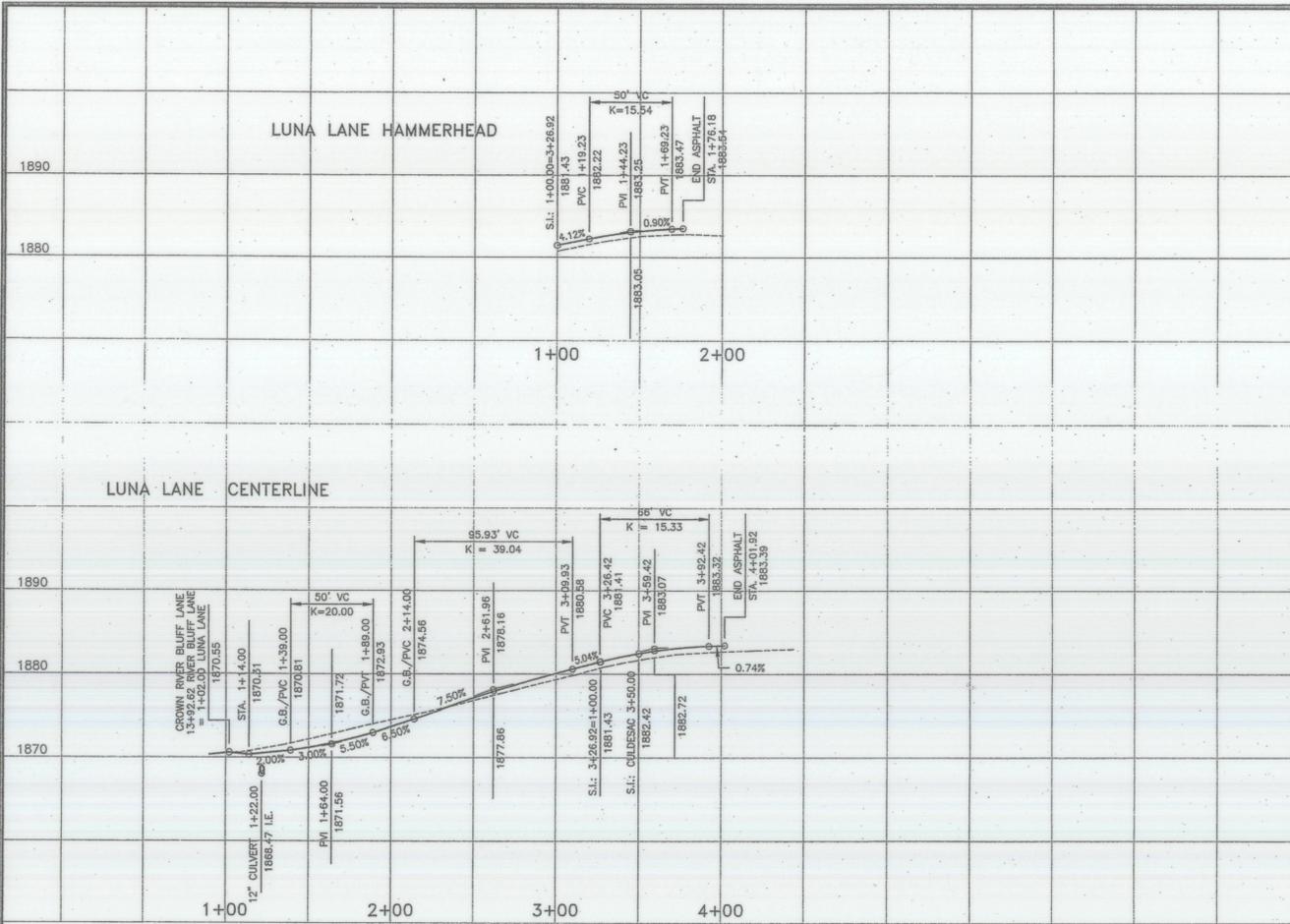
DESCRIPTION OF PROJECT:
 THIS PROJECT IS A PROPOSED LANE TO SERVE FIVE LOTS AS PART OF 'RIVER BLUFF RURAL CLUSTER 1ST ADDITION' NORTH OF RIVER BLUFF LANE (AT STATION 13+93).

DESCRIPTION OF EXISTING VEGETATION & SOIL INFORMATION:
 THE SITE IS LOCATED ON MARBLESRING (#3127) SOILS PER THE NRCS SOILS MAP. THE EXISTING VEGETATION FOR THE SITE IS LIGHTLY TREED PINE FOREST.

RIVER BLUFF WEST PARTNERS, LLC
 BRADLEY KEST, MANAGER
 DATE: 2/10/16

DEVELOPER'S APPROVAL

BENCHMARK
 ELEVATION = 1753.04 (NVD-88)
 SPOKANE COUNTY BENCH MARK "237/12H", BRASS CAP IN CONCRETE POST STAMPED "20 WS 1948"
 LOCATED ALONG NORTH SIDE OF RUTTER PARKWAY IN THE SW 1/4 SE 1/4 SECTION 2-26-42



CONSTRUCTION NOTES:

- 1) ALL ITEMS OF CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION AS PROMULGATED JOINTLY BY THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (WSDOT) AND THE AMERICAN PUBLIC WORKS ASSOCIATION (APWA); THE 2001 SPOKANE COUNTY STANDARDS FOR ROAD AND SEWER CONSTRUCTION; AND ALL AMENDMENTS HERETO.
- 2) LOCATIONS OF PROPOSED AND EXISTING UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE AND/OR MAY NOT BE SHOWN. PRIOR TO SITE CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES. CALL THE UNDERGROUND UTILITY LOCATION SERVICE AT 811 BEFORE YOU DIG. ANY CONFLICTING UTILITIES SHALL BE RELOCATED PRIOR TO CONSTRUCTION OF ROAD AND DRAINAGE FACILITIES.
- 3) THE CONTRACTOR IS REQUIRED TO HAVE A COMPLETE SET OF THE APPROVED ROAD AND DRAINAGE PLANS ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- 4) IF THE CONTRACTOR DISCOVERS ANY DISCREPANCIES BETWEEN THE PLANS AND EXISTING CONDITIONS ENCOUNTERED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER AND THE SPOKANE COUNTY ENGINEER'S OFFICE.

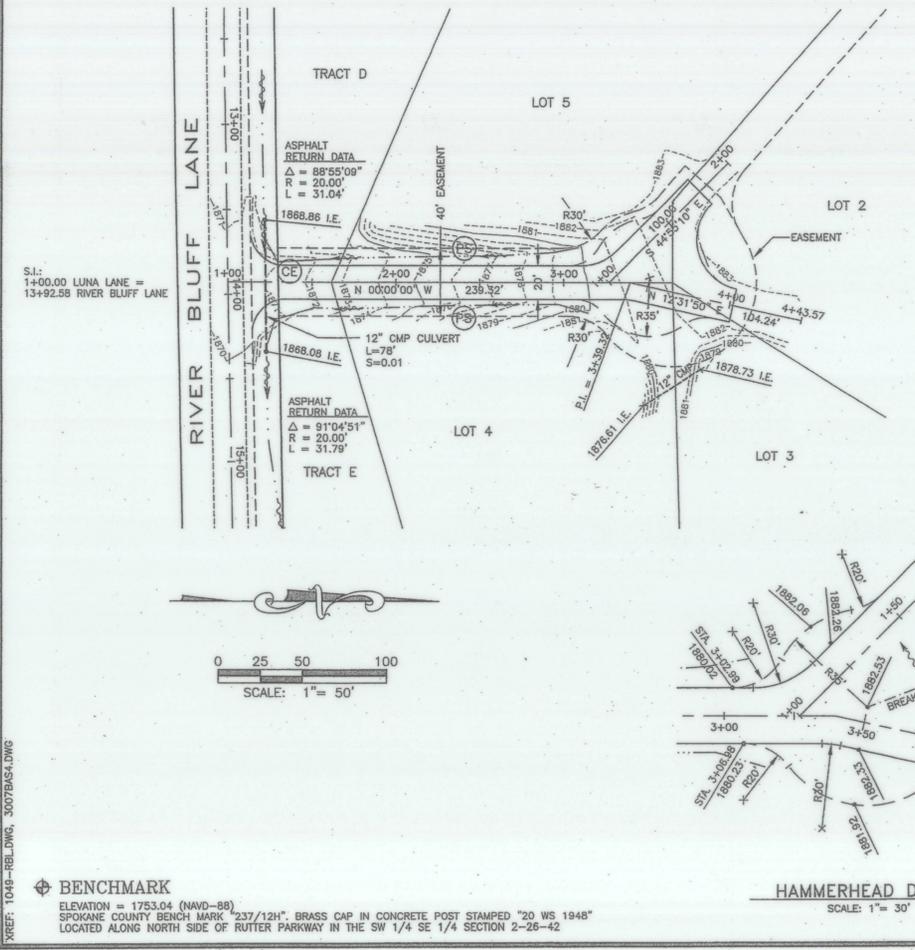
SPOKANE COUNTY ENGINEERS OFFICE
 OFFICIAL PUBLIC DOCUMENT ORIGINAL
CONSTRUCTION PLANS
 PROJECT #: P-2017B
 DATE ACCEPTED: 02-10-16
 ACCEPTANCE EXPIRES: 02-11-18
 PROJECT LANE MILES PUBLIC: 0.19
 PROJECT LANE MILES PRIVATE: 0.19
 CONSTRUCTION DOCUMENTATION AND CERTIFIED RECORD DRAWINGS, "AS-BUILTS" ARE REQUIRED PRIOR TO COUNTY ACCEPTANCE AND ESTABLISHMENT OF THE ROADS AND DRAINAGE FACILITIES FOR MAINTENANCE. PERMIT REQUIRED! (509) 477-3600 NOTIFY PERMIT ENGINEER 2 BUSINESS DAYS PRIOR TO CONSTRUCTION

ENGINEER'S STATEMENT:

THE DESIGN IMPROVEMENTS SHOWN IN THIS SET OF PLANS AND CALCULATIONS CONFORM TO THE APPLICABLE EDITIONS OF THE SPOKANE COUNTY STANDARDS FOR ROAD AND SEWER CONSTRUCTION AND THE SPOKANE COUNTY GUIDELINES FOR STORMWATER MANAGEMENT. ALL DESIGN DEVIATIONS HAVE BEEN APPROVED BY THE SPOKANE COUNTY ENGINEER. I APPROVE THESE PLANS FOR CONSTRUCTION.



02/01/2016



SPOKANE COUNTY ENGINEERS OFFICE
 OFFICIAL PUBLIC DOCUMENT ORIGINAL
"AS-BUILTS"
 CERTIFIED RECORD DRAWINGS
 PROJECT #: P-2017B
 DATE ACCEPTED: 6/22/16

- LEGEND**
- 1875 — EXISTING CONTOUR, 5' INTERVAL
 - 1869 --- EXISTING CONTOUR, 1' INTERVAL
 - - - - - EXISTING EDGE OF ASPHALT
 - - - - - PROPOSED EDGE OF ASPHALT
 - - - - - PROPOSED EDGE GRAVEL
 - - - - - EXISTING DITCH LINE
 - - - - - PROPOSED 12" CULVERT
 - - - - - EXISTING 12" CMP CULVERT
 - x 1861.35 I.E. EXISTING CULVERT INVERT ELEVATION
 - 1867.50 PROPOSED SPOT ELEVATION
 - (PS) PERMANENT SEEDING (SEE SHEET 3)
 - (CE) CONSTRUCTION ENTRANCE (SEE SHEET 3)

RECORD DRAWING for

SAN. SEWER WATER DISTRIBUTION STREET/ROAD DRAINAGE

OTHER

1. INFORMATION OBTAINED FROM:
 BUDINGER AND ASSOCIATES
 METRO ENGINEERING, INC.'S SITE VISITS
2. CONTRACTOR: Pauletta Trucking/Excavation, & Diamond Asphalt
 CONSTRUCTION PERIOD: SPRING, 2016
3. DRAWING REVISIONS BY: JGL DATE: 6/10/16
4. CHECKED BY: JGL DATE: 6/20/16

RECORD DRAWING STATEMENT:
 I have reviewed the construction and to my knowledge find it to be in substantial conformance with the approved plans and standard specifications, except as noted.



RECORD DRAWING
 RIVERBLUFF RURAL CLUSTER - 1ST ADDITION
 LUNA LANE
 PLAN AND PROFILE

RIVERBLUFF WEST PARTNERS, LLC
 BRADLEY WEST, MANAGER
 DATE: 2/10/16
 DEVELOPER'S APPROVAL

SECTION 2, T. 26 N., R. 42 E. W.M.

SHEET
 2 OF 3
 03-007.1

II-5.4.3 BMP E1.35: PERMANENT SEEDING AND PLANTING

CODE: (PS) SYMBOL: ← PS →

DEFINITION:
THE ESTABLISHMENT OF PERENNIAL VEGETATIVE COVER ON DISTURBED AREAS.

PURPOSE:
TO ESTABLISH PERMANENT VEGETATION (SUCH AS GRASSES, LEGUMES AND TREES OR SHRUBS) AS RAPIDLY AS POSSIBLE TO PREVENT SOIL EROSION BY WIND OR WATER, AND TO IMPROVE WILDLIFE HABITAT AND SITE AESTHETICS.
TO PROVIDE POLLUTANT FILTRATION (BIOFILTRATION) IN VEGETATION-LINED CHANNELS AND TO ESTABLISH CONSTRUCTED WETLANDS AS REQUIRED (SEE BMP RW.10 IN CHAPTER III-4 AND RW.05 IN CHAPTER III-6).

CONDITIONS WHERE PRACTICE APPLIES:

- GRADED, FINAL GRADED OR CLEARED AREAS WHERE PERMANENT VEGETATIVE COVER IS NEEDED TO STABILIZE THE SOIL.
- AREAS WHICH WILL NOT BE BROUGHT TO FINAL GRADE FOR A YEAR OR MORE.
- VEGETATION-LINED CHANNELS.
- RETENTION OR DETENTION PONDS AS REQUIRED.

GRASS SEED:
PROVIDE FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY THE OFFICIAL SEED ANALYSIS OF NORTH AMERICA. PROVIDE SEED MIXTURE COMPOSED OF GRASS SPECIES AND PERCENTAGES BY WEIGHT AS FOLLOWS:

20% ELKA PERENNIAL RYE 20% DURAR HARD FESCUE
45% COWAR SHEEP FESCUE 15% RUEBENS CANADIAN BLUEGRASS

PROVIDE MIXTURE COMPOSED OF GRASS SEED AND FERTILIZER IN PERCENTAGES AS FOLLOWS:

GRASS SEED: 90 LBS. PER ACRE
FERTILIZER: 16-16-16 TIMED RELEASE COMPOSITION, 300 LBS. PER ACRE

ALL SEEDING SHALL BE DONE IN ACCORDANCE WITH THE WSDOT 2004 STANDARD SPECIFICATIONS, SECTION 8-01. THE SEEDING DATES ALLOWED IN SECTION 8-01.3(7) SHALL BE AMENDED TO INCLUDE MARCH 1 TO MAY 15. CONTRACTOR TO IRRIGATE SEEDING AREAS UNTIL SEED HAS GERMINATED.

PERMANENT SEEDING/SEED SPECIFICATIONS

(PS)

STABILIZED CONSTRUCTION ENTRANCE AND TIRE WASH

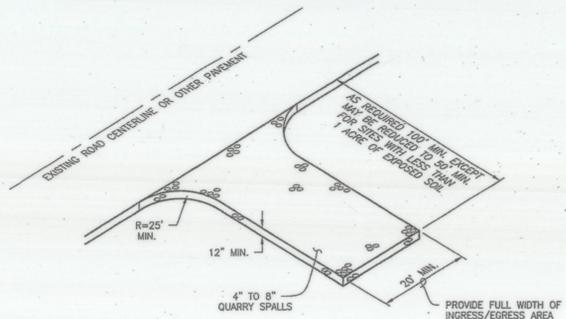
CODE: (CE)

DEFINITION:
A TEMPORARY STONE-STABILIZED PAD LOCATED AT POINTS OF VEHICULAR INGRESS AND EGRESS ON A CONSTRUCTION SITE.

PURPOSE:
TO REDUCE THE AMOUNT OF MUD, DIRT, ROCKS, ETC. TRANSPORTED ONTO PUBLIC ROADS BY MOTOR VEHICLES OR RUNOFF BY CONSTRUCTING A STABILIZED PAD OF ROCK SPALLS AT ENTRANCES TO CONSTRUCTION SITES AND WASHING OF TIRES DURING EGRESS.

CONDITIONS WHERE PRACTICE APPLIES:
- WHENEVER TRAFFIC WILL BE LEAVING A CONSTRUCTION SITE AND MOVING DIRECTLY ONTO A PUBLIC ROAD OR OTHER PAVED AREAS.

MAINTENANCE:
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING AND FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 2-INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.



STABILIZED CONSTRUCTION ENTRANCE AND TIRE WASH

(CE)

NOT TO SCALE

EROSION & SEDIMENT CONTROL NOTES:

- 1) EROSION/SEDIMENT CONTROL (ESC) IS REQUIRED FOR THIS PROJECT. IMPLEMENTATION OF THE ESC PLAN, CONSTRUCTION, MAINTENANCE, AND UPGRADING OF THE ESC FACILITIES ARE THE RESPONSIBILITY OF THE DEVELOPER/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETE AND ACCEPTED BY SPOKANE COUNTY, OR UNTIL VEGETATION IS ESTABLISHED THROUGHOUT THE SITE, AND ACCEPTED BY SPOKANE COUNTY, WHICHEVER IS LATER.
- 2) THE CONTRACTOR SHALL MAINTAIN THE ESC FACILITIES DURING WET WEATHER CONDITIONS TO ASSURE THAT THE FACILITIES ARE WORKING AS PLANNED AND THAT EROSION OF SOILS IS MINIMIZED. THE CONTRACTOR SHALL USE MEASURES AS NECESSARY DURING WET WEATHER CONDITIONS TO MINIMIZE TRACKING OF SOILS ONTO EXISTING STREETS. THE ESC MEASURES SHOWN ARE THE MINIMUM REQUIREMENTS FOR THE ANTICIPATED SITE CONDITIONS. THE CONTRACTOR SHALL INSPECT AND MAINTAIN THESE ESC MEASURES DAILY, AND SHALL MAINTAIN AND UPGRADE THESE MEASURES AS NECESSARY TO PREVENT SEDIMENT-LADEN WATER FROM EITHER FLOWING OFF THE SITE, OR INTO NEW/EXISTING STORM DRAINAGE FACILITIES.
- 3) ON SITE GRADING SHALL BE IN ACCORDANCE WITH THE APPROVED GRADING PLAN AND ESC PLAN. ANY IMPORT OR EXPORT OF MATERIAL SHALL BE FROM A PREAPPROVED SOURCE/DESTINATION AND COORDINATED WITH THE SPOKANE COUNTY DEPARTMENT OF BUILDING AND PLANNING AT 477-3675. GRADING ON THIS SITE OR ANY OTHER SITE MUST COMPLY WITH ALL DEVELOPMENT REGULATIONS INCLUDING, BUT NOT LIMITED TO, GRADING PERMITS, SEPA REVIEW, TIMBER HARVEST PERMITS, CRITICAL AREAS, FLOODPLAINS, DESIGNATED DRAINAGEWAYS, ETC.
- 4) APPROVAL OF THE ESC PLAN DOES NOT CONSTITUTE APPROVAL OF ANY OF THE PROPOSED ROAD, STORM DRAINAGE, GRADING OR UTILITY DESIGN ELEMENTS SHOWN ON THE ESC PLAN.
- 5) THE CONTRACTOR/DEVELOPER IS RESPONSIBLE FOR INSTALLING ROCK CONSTRUCTION ENTRANCES (SEE DETAIL) AT ANY AND ALL LOCATIONS USED TO ENTER OR EXIT THE PROJECT SITE.
- 6) THE EROSION CONTROL PLANS AND SPECIFICATIONS ARE SCHEMATIC AND ARE NOT INTENDED TO DEPICT ALL DETAILS OF THE WORK REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE TO FAMILIARIZE HIMSELF WITH THE ACTUAL SITE CONDITIONS AND FACTORS WHICH MAY CONTRIBUTE TO SOIL EROSION. THE CONTRACTOR SHALL IMPLEMENT ANY ADDITIONAL MEASURES WHICH ARE NECESSARY TO ALLEVIATE THE POTENTIAL FOR SOIL EROSION.
- 7) CONTRACTOR TO PROVIDE A DESIGNATED, POSTED CONCRETE WASHOUT AREA NEAR THE SITE ENTRANCE. THE CONCRETE WASHOUT SHALL NOT BE ALLOWED TO DRAIN OFF THE SITE OR INTO ANY EXISTING OR FUTURE STORM DRAINAGE FACILITIES. HARDENED WASH CONCRETE SHALL BE BROKEN UP AND REMOVED FROM THE SITE.



ENGINEER'S STATEMENT:

THE DESIGN IMPROVEMENTS SHOWN IN THIS SET OF PLANS AND CALCULATIONS CONFORM TO THE APPLICABLE EDITIONS OF THE SPOKANE COUNTY STANDARDS FOR ROAD AND SEWER CONSTRUCTION AND THE SPOKANE COUNTY GUIDELINES FOR STORMWATER MANAGEMENT. ALL DESIGN DEVIATIONS HAVE BEEN APPROVED BY THE SPOKANE COUNTY ENGINEER. I APPROVE THESE PLANS FOR CONSTRUCTION.

PREPARER'S STATEMENT:

THIS EROSION CONTROL PLAN MEETS THE ESC PLAN REQUIREMENTS AS LISTED IN CHAPTER 4.5 OF THE SPOKANE COUNTY GUIDELINES FOR STORMWATER MANAGEMENT.

PROJECT NOTES:

NAME OF PROPERTY OWNER:
RIVER BLUFF WEST PARTNERS, LLC
NAME OF PERMIT APPLICANT:
CHRIS HEFTEL

NAME OF CONTACT PERSON AT PROJECT SITE:
CHRIS HEFTEL
4425 W. LOOKOUT MTH. LANE #A
SPOKANE, WA 99208 Phone: 509-995-2899

PROJECT ADDRESS:
LUNA LANE (NEW) NORTH FROM RIVERBLUFF LANE AT STATION 13+93 TO SERVE FIVE PARCELS.
(NW 1/4 OF SECTION 2, T. 26 N., R. 42 E., W.M.)

DESCRIPTION OF PROJECT:
PROPOSED LANE TO SERVE FIVE LOTS AS PART OF RIVERBLUFF RURAL CLUSTER 1ST ADDITION.

DESCRIPTION OF EXISTING VEGETATION & SOIL INFORMATION:
THE SITE IS LOCATED ON MARLESPIRING (3127) SOILS PER THE NRCS SOILS MAP. THE EXISTING VEGETATION FOR THE SITE IS LIGHTLY TREED PINE FOREST.

LEGAL DESCRIPTION:

A PORTION OF THE NW 1/4 OF SECTION 2, T. 26 N., R. 42 E. W.M., SPOKANE COUNTY, WASHINGTON



RECORD DRAWING for

SAN. SEWER WATER DISTRIBUTION STREET/ROAD DRAINAGE

OTHER

1. INFORMATION OBTAINED FROM:
BUDINGER AND ASSOCIATES
METRO ENGINEERING, INC'S SITE VISITS
2. CONTRACTOR: Pawletta Trucking/Excavation, & Diamond Asphalt
CONSTRUCTION PERIOD: SPRING, 2016
3. DRAWING REVISIONS BY: JGL DATE: 6/16/16
4. CHECKED BY: JGL DATE: 6/20/16

RECORD DRAWING STATEMENT:
I have reviewed the construction and to my knowledge find it to be in substantial conformance with the approved plans and standard specifications, except as noted.



RIVER BLUFF WEST PARTNERS, LLC
BRADLEY WEST, MANAGER
DATE: 2/10/16

SECTION 2, T. 26 N., R. 42 E. W.M.

METRO ENGINEERING, INC.
3929 E. BOONE AVENUE
SPOKANE, WA 99202
(509) 624-9351



02/01/2016

DRAWN BY: resp
CHECKED BY: JGL
DATE: 02/01/2016
SCALE: AS SHOWN

RECORD DRAWING
RIVER BLUFF RURAL CLUSTER - 1ST ADDITION
LUNA LANE
DETAILS & EROSION CONTROL NOTES

SHEET
3 OF 3
03-007.1

RECORD INFORMATION



RECORD DRAWING for

SAN. SEWER WATER DISTRIBUTION STREET/ROAD DRAINAGE

OTHER

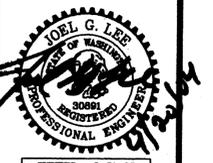
1. INFORMATION OBTAINED FROM:
BUDINGER AND ASSOCIATES
METRO ENGINEERING, INC.'S SITE VISITS

2. CONTRACTOR: Pauletta Trucking/Excavation, & Shamrock Paving
CONSTRUCTION PERIOD: FALL, 2015

3. DRAWING REVISIONS BY: JGL DATE: 6/16/16

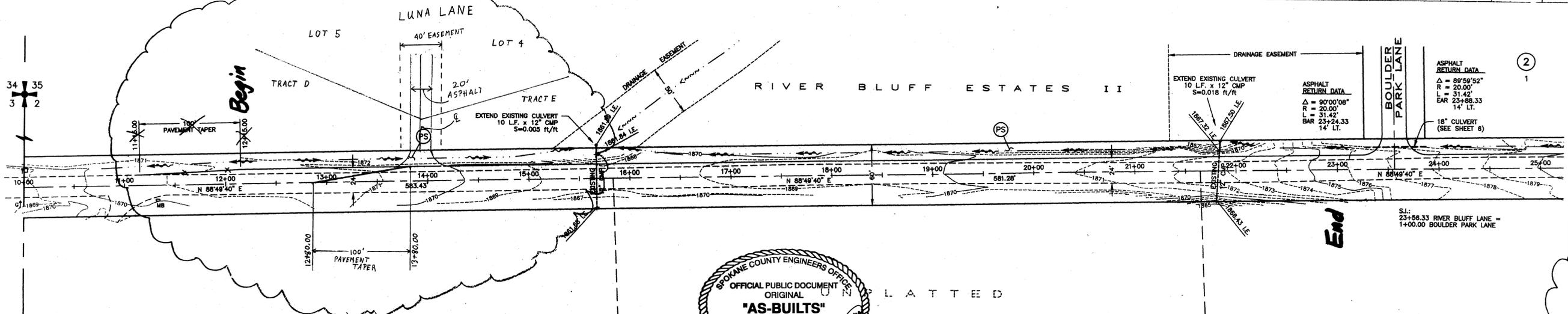
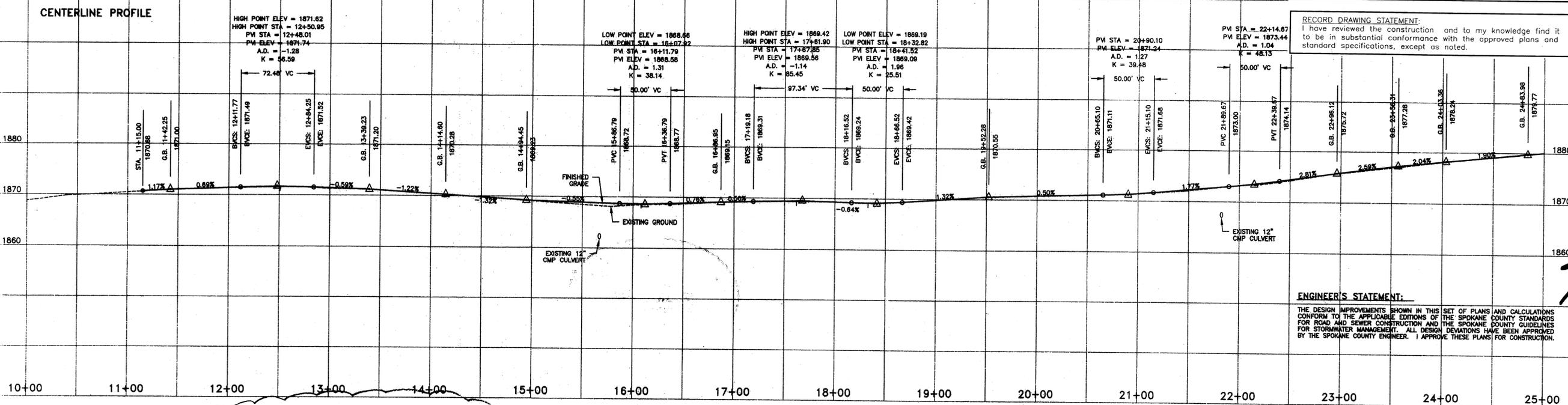
4. CHECKED BY: JGL DATE: 6/20/16

METRO ENGINEERING, INC.
S. 324 SHERMAN
SPOKANE, WA 99202
(509) 624-9351



RECORD DRAWING STATEMENT:
I have reviewed the construction and to my knowledge find it to be in substantial conformance with the approved plans and standard specifications, except as noted.

ENGINEER'S STATEMENT:
THE DESIGN IMPROVEMENTS SHOWN IN THIS SET OF PLANS AND CALCULATIONS CONFORM TO THE APPLICABLE EDITIONS OF THE SPOKANE COUNTY STANDARDS FOR ROAD AND SEWER CONSTRUCTION AND THE SPOKANE COUNTY GUIDELINES FOR STORMWATER MANAGEMENT. ALL DESIGN DEVIATIONS HAVE BEEN APPROVED BY THE SPOKANE COUNTY ENGINEER. I APPROVE THESE PLANS FOR CONSTRUCTION.



- CONSTRUCTION NOTES:**
- ALL ITEMS OF CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE 2002 STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION AS PROMULGATED JOINTLY BY THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (WSDOT) AND THE AMERICAN PUBLIC WORKS ASSOCIATION (APWA). THE 2001 SPOKANE COUNTY STANDARDS FOR ROAD AND SEWER CONSTRUCTION, AND ALL AMENDMENTS HERETO.
 - LOCATIONS OF PROPOSED AND EXISTING UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE AND/OR MAY NOT BE SHOWN. PRIOR TO SITE CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES. CALL THE UNDERGROUND UTILITY LOCATION SERVICE AT 456-8000 BEFORE YOU DIG. ANY CONFLICTING UTILITIES SHALL BE RELOCATED PRIOR TO CONSTRUCTION OF ROAD AND DRAINAGE FACILITIES.
 - THE CONTRACTOR IS REQUIRED TO HAVE A COMPLETE SET OF THE APPROVED ROAD AND DRAINAGE PLANS ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
 - IF THE CONTRACTOR DISCOVERS ANY DISCREPANCIES BETWEEN THE PLANS AND EXISTING CONDITIONS ENCOUNTERED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER AND THE SPOKANE COUNTY ENGINEER'S OFFICE.

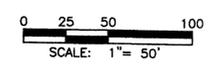
LEGEND

— 1875 —	EXISTING CONTOUR, 5' INTERVAL
— 1869 —	EXISTING CONTOUR, 1' INTERVAL
- - - - -	EXISTING EDGE OF ASPHALT
- - - - -	PROPOSED EDGE OF ASPHALT WIDENING
— — — — —	REGRADED DITCH LINE (SEE ROAD SECTION)
— — — — —	DRAINAGE EASEMENT CENTERLINE
- - - - -	PROPOSED 18" CULVERT
- - - - -	EXISTING 12" CMP CULVERT
x 1861.35 I.E.	EXISTING CULVERT INVERT ELEVATION
x 1867.50 I.E.	PROPOSED CULVERT INVERT ELEVATION
BAR	BEGIN ASPHALT RADIUS
EAR	END ASPHALT RADIUS
(PS)	PERMANENT SEEDING



* River Bluff Lane
STA 12+15 - 23+00 not constructed.
required for River Bluff RD (P-2017)
G-2-N 4-21-04

DEVELOPER'S APPROVAL DATE: 6/21/16
SECTION 2, T. 26 N., R. 42 E. W.M.



DRAWN BY: JKO
CHECKED BY: JGL
DATE: 04/20/04
SCALE: AS SHOWN

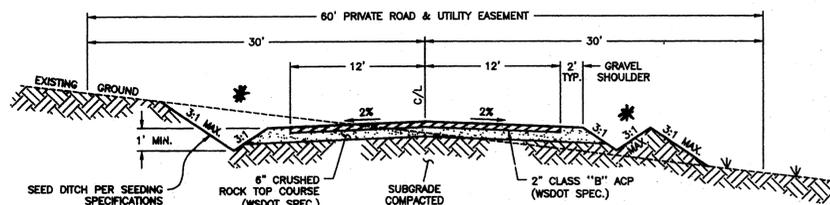
RIVER BLUFF ESTATES II
RIVER BLUFF LANE, Street Plan & Profile
Sta. 11+15.00 to Sta. 24+83.98

SHEET
3 of 7
01-049

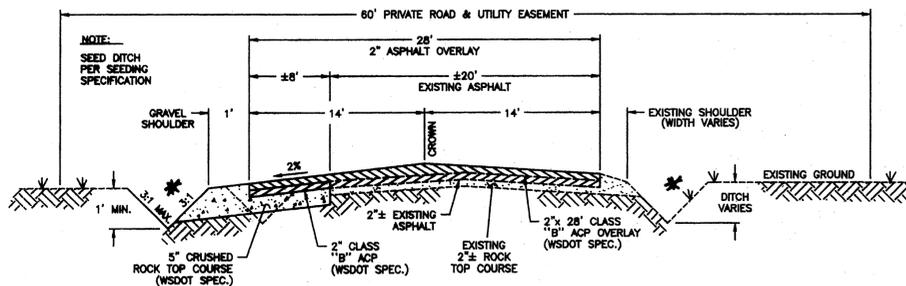
XREF: 1049-BEL-DWG

BENCHMARK
ELEVATION = 1753.04 (NAVD-88)
SPOKANE COUNTY BENCH MARK "237/12H", BRASS CAP IN CONCRETE POST STAMPED "20 WS 1948"
LOCATED ALONG NORTH SIDE OF RUTTER PARKWAY IN THE SW 1/4 SE 1/4 SECTION 2-26-42

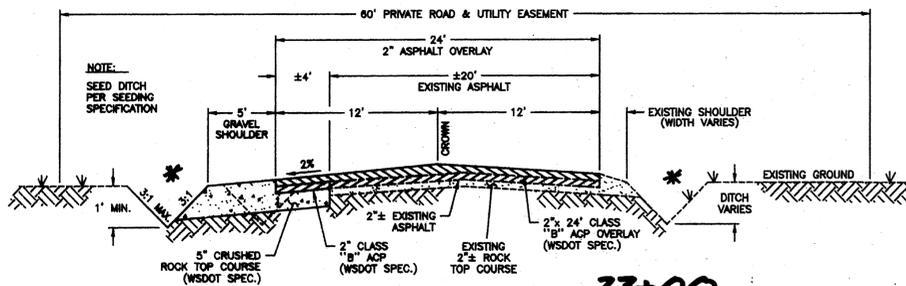
CALL BEFORE YOU DIG: 456-8000



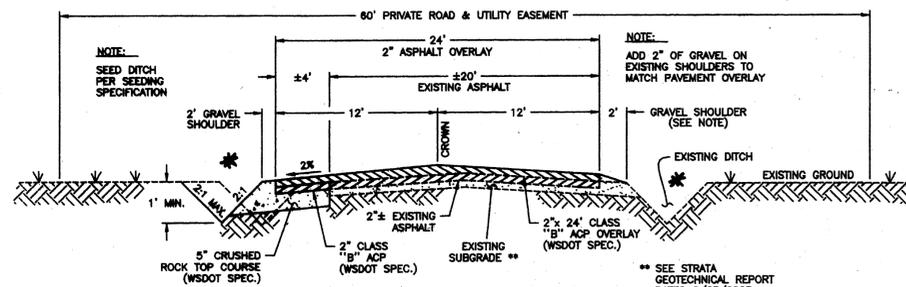
BOULDER PARK LANE X-SECTION
NOT TO SCALE



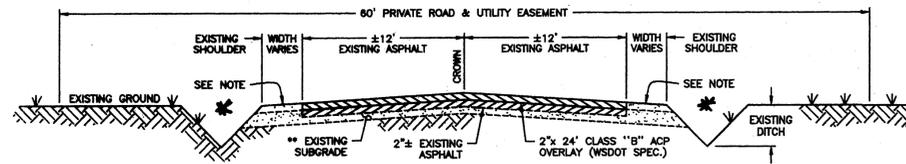
RIVER BLUFF LANE - Sta. 29+20 to Sta. 39+03 (Gate)
NOT TO SCALE



RIVER BLUFF LANE - Sta. 12+15 to Sta. 23+00
NOT TO SCALE



DORSET ROAD - Sta. 8+34 to Sta. 19+04
NOT TO SCALE



DORSET ROAD - Sta. 19+04 to Sta. 19+65
RIVER BLUFF LANE - Sta. 39+03 (Gate) to Sta. 39+45
NOT TO SCALE

II-5.4.3 BMP E1.35: PERMANENT SEEDING AND PLANTING

CODE: (PS) **SYMBOL:** ← (PS) →

DEFINITION:
THE ESTABLISHMENT OF PERENNIAL VEGETATIVE COVER ON DISTURBED AREAS.

PURPOSE:
TO ESTABLISH PERMANENT VEGETATION (SUCH AS GRASSES, LEGUMES AND TREES OR SHRUBS) AS RAPIDLY AS POSSIBLE TO PREVENT SOIL EROSION BY WIND OR WATER, AND TO IMPROVE WILDLIFE HABITAT AND SITE AESTHETICS.

TO PROVIDE POLLUTANT FILTRATION (BIOFILTRATION) IN VEGETATION-LINED CHANNELS AND TO ESTABLISH CONSTRUCTED WETLANDS AS REQUIRED (SEE BMP RW.10 IN CHAPTER III-4 AND RW.05 IN CHAPTER III-6).

CONDITIONS WHERE PRACTICE APPLIES:

- GRADED, FINAL GRADED OR CLEARED AREAS WHERE PERMANENT VEGETATIVE COVER IS NEEDED TO STABILIZE THE SOIL.
- AREAS WHICH WILL NOT BE BROUGHT TO FINAL GRADE FOR A YEAR OR MORE.
- VEGETATION-LINED CHANNELS.
- RETENTION OR DETENTION PONDS AS REQUIRED.

GRASS SEED:
PROVIDE FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY THE OFFICIAL SEED ANALYSIS OF NORTH AMERICA. PROVIDE SEED MIXTURE COMPOSED OF GRASS SPECIES AND PERCENTAGES BY WEIGHT AS FOLLOWS:

20% ELKA PERENNIAL RYE 20% DURAR HARD FESCUE
45% COVAR SHEEP FESCUE 15% RUEBENS CANADIAN BLUEGRASS

PROVIDE MIXTURE COMPOSED OF GRASS SEED AND FERTILIZER IN PERCENTAGES AS FOLLOWS:

GRASS SEED: 90 LBS. PER ACRE
FERTILIZER: 16-16-16 TIMED RELEASE COMPOSITION, 300 LBS. PER ACRE

ALL SEEDING SHALL BE DONE IN ACCORDANCE WITH THE WSDOT 2002 STANDARD SPECIFICATIONS, SECTION 8-01. THE SEEDING DATES ALLOWED IN SECTION 8-01.3(7) SHALL BE AMENDED TO INCLUDE MARCH 1 TO MAY 15. CONTRACTOR TO IRRIGATE SEEDED AREAS UNTIL SEED HAS GERMINATED.

PERMANENT SEEDING/SEED SPECIFICATIONS

STABILIZED CONSTRUCTION ENTRANCE AND TIRE WASH

CODE: (CE)

DEFINITION:
A TEMPORARY STONE-STABILIZED PAD LOCATED AT POINTS OF VEHICULAR INGRESS AND EGRESS ON A CONSTRUCTION SITE.

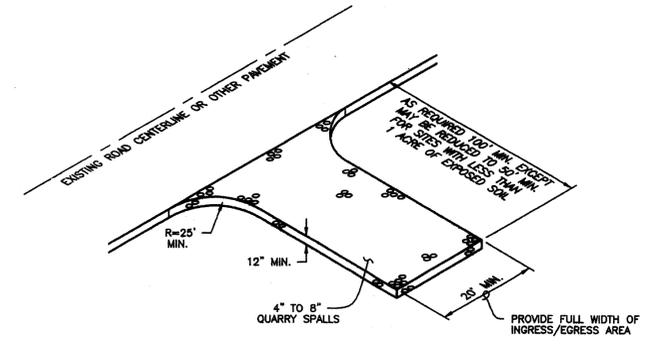
PURPOSE:
TO REDUCE THE AMOUNT OF MUD, DIRT, ROCKS, ETC. TRANSPORTED ONTO PUBLIC ROADS BY MOTOR VEHICLES OR RUNOFF BY CONSTRUCTING A STABILIZED PAD OF ROCK SPALLS AT ENTRANCES TO CONSTRUCTION SITES AND WASHING OF TIRES DURING EGRESS.

CONDITIONS WHERE PRACTICE APPLIES:

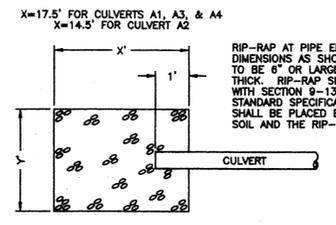
- WHENEVER TRAFFIC WILL BE LEAVING A CONSTRUCTION SITE AND MOVING DIRECTLY ONTO A PUBLIC ROAD OR OTHER PAVED AREAS.

MAINTENANCE:

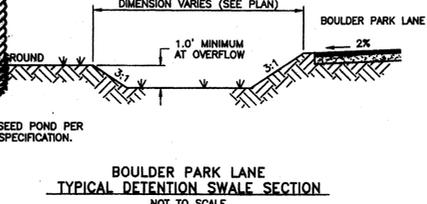
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING AND FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 2-INCH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.



STABILIZED CONSTRUCTION ENTRANCE AND TIRE WASH
NOT TO SCALE



RIP-RAP DETAIL
NOT TO SCALE



BOULDER PARK LANE TYPICAL DETENTION SWALE SECTION
NOT TO SCALE

- EROSION & SEDIMENT CONTROL NOTES:**
- 1) EROSION/SEDIMENT CONTROL (ESC) HAS BEEN REQUIRED FOR THIS PROJECT. IMPLEMENTATION OF THE ESC PLAN, CONSTRUCTION, MAINTENANCE, AND UPGRADING OF THE ESC FACILITIES ARE THE RESPONSIBILITY OF THE DEVELOPER/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND ACCEPTED BY SPOKANE COUNTY, OR UNTIL VEGETATION IS ESTABLISHED THROUGHOUT THE SITE, AND ACCEPTED BY SPOKANE COUNTY, WHICHEVER IS LATER.
 - 2) THE CONTRACTOR SHALL MAINTAIN THE ESC FACILITIES DURING WET WEATHER CONDITIONS TO ASSURE THAT THE FACILITIES ARE WORKING AS PLANNED AND THAT EROSION OF SOILS IS MINIMIZED. THE CONTRACTOR SHALL USE MEASURES AS NECESSARY DURING WET WEATHER CONDITIONS TO MINIMIZE TRACKING OF SOILS ONTO EXISTING STREETS. THE ESC MEASURES SHOWN ARE THE MINIMUM REQUIREMENTS FOR THE ANTICIPATED SITE CONDITIONS. THE CONTRACTOR SHALL INSPECT AND MAINTAIN THESE ESC MEASURES DAILY, AND SHALL MAINTAIN AND UPGRADE THESE MEASURES AS NECESSARY TO PREVENT SEDIMENT-LOADED WATER FROM EITHER FLOWING OFF THE SITE, OR INTO NEW/EXISTING STORM DRAINAGE FACILITIES.
 - 3) APPROVAL OF THE ESC PLAN DOES NOT CONSTITUTE APPROVAL OF ANY OF THE PROPOSED ROAD, STORM DRAINAGE, GRADING OR UTILITY DESIGN ELEMENTS SHOWN ON THE ESC PLAN.
 - 4) THE CONTRACTOR/DEVELOPER IS RESPONSIBLE FOR INSTALLING ROCK CONSTRUCTION ENTRANCES (SEE DETAIL) AT ANY AND ALL LOCATIONS USED TO ENTER OR EXIT THE PROJECT SITE.
 - 5) THE EROSION CONTROL PLANS AND SPECIFICATIONS ARE SCHEMATIC AND ARE NOT INTENDED TO DEPICT ALL DETAILS OF THE WORK REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE TO FAMILIARIZE HIMSELF WITH THE ACTUAL SITE CONDITIONS AND FACTORS WHICH MAY CONTRIBUTE TO SOIL EROSION. THE CONTRACTOR SHALL IMPLEMENT ANY ADDITIONAL MEASURES WHICH ARE NECESSARY TO ALLEVIATE THE POTENTIAL FOR SOIL EROSION.

RECORD DRAWING for

SAN. SEWER WATER DISTRIBUTION STREET/ROAD DRAINAGE

OTHER

1. INFORMATION OBTAINED FROM:
BUDINGER AND ASSOCIATES
METRO ENGINEERING, INC.'S SITE VISITS

2. CONTRACTOR: Purohito Trucking/Excavation, & Shimmick Paving
CONSTRUCTION PERIOD: FALL 2013

3. DRAWING REVISIONS BY: JGL DATE: 6/16/16

4. CHECKED BY: JOL DATE: 6/20/16

RECORD DRAWING STATEMENT:
I have reviewed the construction and to my knowledge find it to be in substantial conformance with the approved plans and standard specifications, except as noted.



ENGINEER'S STATEMENT:
THE DESIGN IMPROVEMENTS SHOWN IN THIS SET OF PLANS AND CALCULATIONS CONFORM TO THE APPLICABLE EDITIONS OF THE SPOKANE COUNTY STANDARDS FOR ROAD AND SEWER CONSTRUCTION AND THE SPOKANE COUNTY GUIDELINES FOR STORMWATER MANAGEMENT. ALL DESIGN DEVIATIONS HAVE BEEN APPROVED BY THE SPOKANE COUNTY ENGINEER. I APPROVE THESE PLANS FOR CONSTRUCTION.

PREPARER'S STATEMENT:
THIS EROSION CONTROL PLAN MEETS THE ESC PLAN REQUIREMENTS AS LISTED IN CHAPTER 4.5 OF THE SPOKANE COUNTY GUIDELINES FOR STORMWATER MANAGEMENT.

PROJECT NOTES:

NAME OF PROPERTY OWNER:
RIVER BLUFF LAND COMPANY, LLC, ET AL

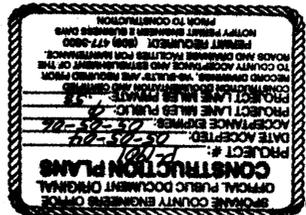
NAME OF PERMIT APPLICANT:
CHRIS HETTEL, PRESIDENT
NABERHOOD 21, LLC

NAME OF CONTACT PERSON AT PROJECT SITE:
CHRIS HETTEL
4425 W. LOOKOUT MTN. LANE #A
SPOKANE, WA 99208 Phone: 509-484-0123

PROJECT ADDRESS:
RIVER BLUFF LANE

DESCRIPTION OF PROJECT:
THIS PROJECT IS A PROPOSED 16 (LARGE) LOT PLAT, CALLED RIVER BLUFF ESTATES II. THE LOTS WILL, EACH BE 10 ACRES OR GREATER IN SIZE. THE PROJECT WILL CONSIST OF ONE NEW PRIVATE ROAD (BOULDER PARK LANE), WIDENING OF RIVER BLUFF LANE, AND WIDENING AND ASPHALT OVERLAY ON DORSET ROAD. BOULDER PARK LANE WILL EXTEND APPROXIMATELY 1525 FT. NORTHWEST OF RIVER BLUFF LANE.

DESCRIPTION OF EXISTING VEGETATION & SOIL INFORMATION:
THE SITE IS LOCATED ON HARDESTY AND MARBLE SOILS PER THE SCS SOILS MAP. THE EXISTING VEGETATION FOR THE SITE IS LIGHTLY TREED PINE FOREST.



DEVELOPER'S APPROVAL DATE: 7-21-04
SECTION 2, T. 26 N., R. 42 E. W.M.

METRO ENGINEERING, INC.
S. 324 SHERMAN
SPOKANE, WA 99202
(509) 624-9351



DRAWN BY: JKO
CHECKED BY: RMS
DATE: 04/20/04
SCALE: AS SHOWN

**RIVER BLUFF ESTATES II
STREET AND DRAINAGE
NOTES AND DETAILS**

SHEET
7 OF 7
01-049