

FINAL PLAT OF PILLAR ROCK ESTATES SECOND ADDITION PW-1959-05

IN THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4, SECTION 20,
TOWNSHIP 25 NORTH, RANGE 42 EAST, W.M.
SPOKANE COUNTY, WASHINGTON

36 / 90
Plat # 4141

SPOKANE COUNTY AUDITOR
Filed for record this 21st day of May, 2013, at 27 minutes past 2 o'clock a.m., and recorded in Book 26 of Plats at page(s) 20-21. Records of Spokane County, Washington, at the request of Storhag Engineering, Inc.
William D. Anderson
Spokane County Auditor - Deputy

DEDICATION:

KNOW ALL MEN BY THESE PRESENTS THAT PILLAR ROCK, LLC., A WASHINGTON LIMITED LIABILITY COMPANY, AND WASHINGTON TRUST BANK HAS CAUSED TO BE PLATTED INTO LOTS, BLOCKS AND STREETS THE LAND SHOWN HEREON TO BE KNOWN AS PILLAR ROCK ESTATES SECOND ADDITION, BEING A PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 20, TOWNSHIP 25 NORTH, RANGE 42 EAST, WILMETTE MERIDIAN, SPOKANE COUNTY, WASHINGTON AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER QUARTER OF SAID SECTION 20 BEING MONUMENTED BY A 3/4" INCH IRON PIPE FROM WHICH THE CENTER-WEST SIXTEENTH CORNER BEARS N89°20'39"E A DISTANCE OF 1372.54 FEET; THENCE ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER, BEING A DISTANCE OF 656.27 FEET TO THE NORTHEAST CORNER OF THE PARCEL DESCRIBED UNDER ASSESSOR'S TAX PARCEL NUMBER 25203.9059; THENCE ALONG THE EAST LINE OF SAID PARCEL DESCRIBED UNDER ASSESSOR'S TAX PARCEL NUMBER 25203.9059, S00°0'50"E A DISTANCE OF 125.00 FEET TO THE TRUE POINT OF BEGINNING.

THENCE LEAVING SAID EAST LINE, N89°29'39"E A DISTANCE OF 226.70 FEET;
THENCE S00°0'51"E A DISTANCE OF 38.34 FEET;
THENCE S00°30'1"E A DISTANCE OF 125.00 FEET;
THENCE N89°29'39"E A DISTANCE OF 295.28 FEET;
THENCE S00°15'41"E A DISTANCE OF 179.42 FEET TO THE NORTHEAST CORNER OF LOT 1, BLOCK 8 OF THE PLAT OF PILLAR ROCK ESTATES PW-1959-05 FILED IN BOOK 35 OF PLATS AT PAGES 3-5, RECORDS OF SPOKANE COUNTY;
THENCE ALONG THE NORTH LINE OF SAID LOT 1, BLOCK 8, S79°03'45"W A DISTANCE OF 84.12 FEET TO THE NORTHWEST CORNER OF SAID LOT 1, BLOCK 8;
THENCE ALONG THE WEST LINE OF SAID LOT 1, BLOCK 8, S13°03'41"E A DISTANCE OF 69.83 FEET;
THENCE CONTINUING ALONG SAID WEST LINE, ALONG A CURVE TO THE LEFT WITH AN ARC LENGTH OF 1219 FEET, A RADIUS OF 82.00 FEET, A DELTA OF 08°30'58" WITH A LONG CHORD THAT BEARS S77°01'0"E A DISTANCE OF 12.18 FEET;
THENCE CONTINUING ALONG SAID WEST LINE, S21°34'30"E A DISTANCE OF 4.10 FEET;
THENCE LEAVING SAID WEST LINE, S68°25'21"W A DISTANCE OF 36.00 FEET TO THE EAST LINE OF LOT 4, BLOCK 6 OF SAID PLAT OF PILLAR ROCK ESTATES;
THENCE ALONG SAID EAST LINE, N21°34'30"W A DISTANCE OF 4.10 FEET;
THENCE CONTINUING ALONG SAID EAST LINE, ALONG A CURVE TO THE RIGHT WITH AN ARC LENGTH OF 17.54 FEET, A RADIUS OF 118.00 FEET, A DELTA 08°30'58" WITH A LONG CHORD THAT BEARS N17°01'0"E A DISTANCE OF 17.52 FEET;
THENCE CONTINUING ALONG SAID EAST LINE, N13°03'41"W A DISTANCE OF 4.38 FEET TO THE NORTHEAST CORNER OF SAID LOT 4, BLOCK 6;
THENCE ALONG THE NORTH LINE OF SAID LOT 4, BLOCK 6 AND LOT 3, BLOCK 6 OF SAID PLAT OF PILLAR ROCK ESTATES, S68°49'59"W A DISTANCE OF 156.86 FEET TO THE NORTHERLY CORNER OF SAID LOT 3, BLOCK 6;
THENCE ALONG THE NORTHWESTERLY LINE OF LOT 2, BLOCK 6 OF SAID PLAT OF PILLAR ROCK ESTATES, S06°24'47"W A DISTANCE OF 116.46 FEET TO THE WESTERLY CORNER OF SAID LOT 2, BLOCK 6;
THENCE ALONG THE NORTH LINE OF LOT 1, BLOCK 6 OF SAID PLAT OF PILLAR ROCK ESTATES, S71°24'57"W A DISTANCE OF 91.21 FEET TO THE NORTHWEST CORNER OF SAID LOT 1, BLOCK 6;
THENCE ALONG THE WEST LINE OF SAID LOT 1, BLOCK 6, ALONG A NON-TANGENT CURVE TO THE LEFT WITH AN ARC LENGTH OF 104.19 FEET, A RADIUS OF 256.00 FEET, A DELTA OF 23°12'12" WITH A LONG CHORD THAT BEARS S02°44'4"E A DISTANCE OF 103.49 FEET;
THENCE CONTINUING ALONG SAID WEST LINE, S32°03'39"E A DISTANCE OF 6.41 FEET;
THENCE LEAVING SAID WEST LINE, S57°56'21"W A DISTANCE OF 38.00 FEET TO THE EAST LINE OF LOT 3, BLOCK 5 OF SAID PLAT OF PILLAR ROCK ESTATES;
THENCE ALONG SAID EAST LINE, N32°03'39"W A DISTANCE OF 6.41 FEET;
THENCE CONTINUING ALONG SAID EAST LINE, ALONG A CURVE TO THE RIGHT WITH AN ARC LENGTH OF 88.41 FEET, A RADIUS OF 294.00 FEET, A DELTA OF 17°15'45" WITH A LONG CHORD THAT BEARS N22°56'17"W A DISTANCE OF 88.07 FEET TO THE NORTHEAST CORNER OF SAID LOT 3, BLOCK 5;
THENCE ALONG THE NORTH LINE OF SAID LOT 3, BLOCK 5 AND LOT 2, BLOCK 5 OF SAID PLAT OF PILLAR ROCK ESTATES, S89°49'01"W A DISTANCE OF 135.83 FEET TO THE NORTHWEST CORNER OF SAID LOT 2, BLOCK 5;
THENCE ALONG THE NORTH LINE OF LOT 1, BLOCK 5 OF SAID PLAT OF PILLAR ROCK ESTATES, S03°30'05"W A DISTANCE OF 128.31 FEET TO THE NORTHWEST CORNER OF SAID LOT 1, BLOCK 5;
THENCE ALONG THE WEST LINE OF SAID LOT 1, BLOCK 5, S27°50'23"E A DISTANCE OF 76.95 FEET;
THENCE LEAVING SAID WEST LINE, S62°00'22"W A DISTANCE OF 36.00 FEET TO THE EAST LINE OF LOT 4, BLOCK 3 OF SAID PLAT OF PILLAR ROCK ESTATES;
THENCE ALONG THE EAST LINE OF SAID LOT 4, BLOCK 3, N27°50'23"W A DISTANCE OF 77.05 FEET TO THE NORTHEAST CORNER OF SAID LOT 4, BLOCK 3;
THENCE ALONG THE NORTH LINE OF SAID LOT 4, BLOCK 3 AND LOTS 2 & 3, BLOCK 3 OF SAID PLAT OF PILLAR ROCK ESTATES, S82°45'49"W A DISTANCE OF 184.50 FEET TO THE NORTHWEST CORNER OF SAID LOT 2, BLOCK 3 ON THE EAST LINE OF THE PARCEL DESCRIBED UNDER ASSESSOR'S TAX PARCEL NUMBER 25203.9085;
THENCE ALONG SAID EAST LINE OF TAX PARCEL NUMBER 25203.9085, N00°06'15"W A DISTANCE OF 274.45 FEET TO THE NORTHEAST CORNER OF SAID TAX PARCEL NUMBER 25203.9085;
THENCE ALONG THE SOUTH LINE OF SAID PARCEL DESCRIBED UNDER ASSESSOR'S TAX PARCEL NUMBER 25203.9059, N89°36'51"E A DISTANCE OF 296.67 FEET TO THE SOUTHEAST CORNER OF SAID TAX PARCEL NUMBER 25203.9059;
THENCE ALONG THE EAST LINE OF SAID TAX PARCEL NUMBER 25203.9059, N00°10'59"W A DISTANCE OF 533.93 FEET TO THE POINT OF BEGINNING FOR THIS DESCRIPTION, CONTAINING 6.55 ACRES OF LAND MORE OR LESS.

DEDICATION cont'd.

DRAINAGE EASEMENTS, AS PLATTED AND SHOWN HEREON, WHICH ARE FOR PURPOSE OF CONVEYING AND STORING STORMWATER RUNOFF, AND FOR INSTALLING, OPERATING AND MAINTAINING DRAINAGE PONDS AND DRAINAGE FACILITIES WHICH PURPOSE OF AND TREAT STORMWATER RUNOFF, ARE HEREBY GRANTED TO SPOKANE COUNTY AND THE PILLAR ROCK ESTATES HOMEOWNERS ASSOCIATION (HOA). SPOKANE COUNTY IS NOT RESPONSIBLE FOR OPERATIONS AND MAINTENANCE OF DRAINAGE FACILITIES LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY UNLESS SPECIALLY AGREED TO IN WRITING BY THE SPOKANE COUNTY ENGINEER.

THE DRAINAGE EASEMENTS, LOTS, COMMON AREAS, AND TRACTS WITHIN THIS PLAT ARE SUBJECT TO THE SEPARATE DECLARATION OF ANNEXATION AS RECORDED MARCH 14, 2013 UNDER AUDITOR'S DOCUMENT NO. 6187058 THAT BY REFERENCE IS MADE A PART HEREOF.

THE PROPERTY OWNERS WITHIN THIS PLAT SHALL BE HELD RESPONSIBLE FOR KEEPING OPEN AND MAINTAINING THE SURFACE PATH OF NATURAL OR MAN-MADE DRAINAGE FLOW OVER AND ACROSS THEIR RESPECTIVE PROPERTIES, IF THE PROPERTY OWNERS FAIL TO MAINTAIN THE SURFACE PATH OF NATURAL OR MAN-MADE DRAINAGE FLOW OR DRAINAGE FACILITIES ON PRIVATE PROPERTIES, A NOTICE OF SUCH FAILURE MAY BE GIVEN TO THE PROPERTY OWNER. IF NOT CORRECTED WITHIN THE PERIOD INDICATED ON SAID NOTICE, SPOKANE COUNTY HAS THE RIGHT TO CORRECT THE MAINTENANCE FAILURE, OR HAVE IT CORRECTED, AT THE EXPENSE OF THE PROPERTY OWNER.

SPOKANE COUNTY DOES NOT ACCEPT THE RESPONSIBILITY OF MAINTAINING THE DRAINAGE COURSE ON PRIVATE LOTS OR FLOODPLAIN AREAS SAID NOTICE, NOR RESPONSIBILITY FOR ANY DAMAGE WHATSOEVER, INCLUDING, BUT NOT LIMITED TO, INVERSE CONDEMNATION TO ANY PROPERTIES DUE TO DEFICIENT CONSTRUCTION AND/OR MAINTENANCE OF DRAINAGE COURSES OR DRAINAGE EASEMENTS ON PRIVATE PROPERTY.

ANY BUILDING THAT IS CONSTRUCTED ON A LOT IN THIS PLAT SHALL BE SET AT SUCH AN ELEVATION SO AS TO PROVIDE POSITIVE DRAINAGE AWAY FROM ANY DRAINAGE ENTRY POINT TO THE BUILDING (INCLUDING BUT NOT LIMITED TO A WINDOW WELL, A WINDOW UNPROTECTED BY A WINDOW WELL, OR A DOORWAY). SAID POSITIVE DRAINAGE SHALL MEET THE MINIMUM REQUIREMENTS AS SET FORTH IN THE CURRENT BUILDING CODE. THE LOTS SHALL BE GRADED SO THAT EITHER ALL RUNOFF IS ROUTED AWAY FROM THE BUILDING AND CONVEYED OVER THE LOT TO A NATURAL DRAINAGE CHANNEL OR APPROVED DRAINAGE FACILITY, OR IS DRAINAGE INTERCEPTED ON THE LOT IN AN APPROVED DRAINAGE FACILITY. ALL DRAINAGE FACILITIES FOR THIS PLAT, INCLUDING ANY 200" SWALES, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE ACCEPTED PRACTICES ON FILE AT THE SPOKANE COUNTY ENGINEER'S OFFICE. ANY PROPOSED CHANGES TO THE ACCEPTED ROAD AND DRAINAGE PLANS MUST BE ACCEPTED BY THE SPOKANE COUNTY ENGINEER'S OFFICE PRIOR TO CONSTRUCTION OF SAID CHANGES.

THERE MAY EXIST PROPERTIES LOCATED UPHILL AND ADJACENT TO THIS SUBDIVISION WHICH PERIODICALLY DISCHARGE STORMWATER RUNOFF ONTO INDIVIDUAL LOTS WITHIN THIS PLAT. STORMWATER RUNOFF FROM NEARBY UPHILL PROPERTIES SHOULD BE EXPECTED, AND DURING SNOW MELT PERIODS OR WET SEASONS THE LOTS MAY BE SUBJECTED TO HIGHER AMOUNTS OF DEVELOPMENT, STORMWATER RUNOFF WILL LIKELY CONTINUE TO GO SO AFTER DEVELOPMENT.

THE PROPERTY OWNERS WITHIN THIS PLAT SHALL MAINTAIN ALL NATURAL DRAINAGE CHANNELS, DRAINAGE DITCHES, AND WATER QUALITY SWALES (200" SWALES) SITUATED ON THEIR RESPECTIVE PROPERTIES, AND ANY PORTION OF A 200" SWALE SITUATED IN A PUBLIC RIGHT-OF-WAY ADJACENT TO THEIR RESPECTIVE PROPERTIES, WITH A PERMANENT GRASS COVER AS SPECIFIED IN THE CURRENTLY ACCEPTED PLANS ON FILE AT SPOKANE COUNTY ENGINEER'S OFFICE. NO STRUCTURES, INCLUDING FENCES, SHALL BE CONSTRUCTED DIRECTLY OVER OR WITHIN A 200" SWALE WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE SPOKANE COUNTY ENGINEER. PROPERTY OWNERS' MAINTENANCE RESPONSIBILITIES SHALL INCLUDE, BUT IS NOT LIMITED TO MOWING, IRRIGATING, AND KEEPING THE AREA FREE OF DEBRIS.

SPOKANE COUNTY DOES NOT ACCEPT THE RESPONSIBILITY TO INSPECT OR MAINTAIN ANY DRAINAGE FACILITIES AND/OR STRUCTURES LOCATED OUTSIDE THE PUBLIC RIGHTS-OF-WAY, EXCEPT IN CASES WHERE SPOKANE COUNTY SPECIFICALLY ASSUMES RESPONSIBILITY IN WRITING. NEITHER DOES SPOKANE COUNTY ACCEPT LIABILITY FOR ANY FAILURE BY THE PROPERTY OWNER(S) TO PROPERLY MAINTAIN SUCH AREAS.

A LOTS WITHIN THIS PLAT ARE SUBJECT TO THE SEPARATE HOMEOWNER'S ASSOCIATION ANNEXATION DOCUMENT AS RECORDED MARCH 14, 2013 UNDER AUDITOR'S DOCUMENT NO. 6187058 THAT BY REFERENCE IS MADE A PART HEREOF.

A GEOTECHNICAL ENGINEER REGISTERED IN THE STATE OF WASHINGTON SHALL PROVIDE REVIEW OF MITIGATION MEASURES FOR WATERPROOFING ANY PROPOSED BASEMENTS. REVIEW SHALL BE DONE AT THE TIME OF BUILDING PERMIT APPLICATION.

THE DEVELOPER, PROPERTY OWNERS, AND HOMEOWNER'S ASSOCIATION WAIVE ANY AND ALL CLAIMS FOR DAMAGES AGAINST ANY GOVERNMENTAL AUTHORITY ARISING FROM THE CONSTRUCTION, OWNERSHIP OR MAINTENANCE OF PUBLIC FACILITIES. THIS WAIVER INCLUDES CLAIMS OF ANY NATURE, INCLUDING BUT NOT LIMITED TO PERSON AND REAL PROPERTY DAMAGES AS WELL AS ANY INVERSE CONDEMNATION CLAIMS.

THIS COVENANT AND AGREEMENT SHALL RUN WITH THE LAND IN PERPETUITY, AND SHALL BE BINDING UPON THE OWNER, THEIR HEIRS, SUCCESSORS AND ASSOCIS, INCLUDING THE OBLIGATION TO PARTICIPATE IN THE MAINTENANCE OF THE DRAINAGE FACILITIES AS PROVIDED HEREIN.

THE HEREIN DESCRIBED PROPERTY IS SUBJECT TO THE FOLLOWING:

- EASEMENT, INCLUDING THE TERMS THEREOF RECORDED FEBRUARY 20, 1993, UNDER APN 1594158.
- AVIGATION EASEMENT AND THE TERMS AND CONDITIONS THEREOF RECORDED FEBRUARY 4, 2008, UNDER APN 5633636.

IN WITNESS WHEREOF, the hereunto set their signatures.

[Signature]
Manager, Pillar Rock, LLC

IN WITNESS WHEREOF, the hereunto set their signatures.

[Signature]
Washington Trust Bank

ACKNOWLEDGMENT

State of Washington) as
County of Spokane)

On this 26th day of April, 2013, before me personally appeared *Thomas Miller*, known to me to be the *Manager* of Pillar Rock, LLC, a Washington Limited Liability Company, who executed the within and foregoing instrument, for the uses and purposes therein mentioned and stated on oath that they were authorized to execute said instrument as his free and voluntary act.



IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written. My commission expires April 18, 2015.

[Signature]
Notary Public in and for the State of Washington,
Residing at *Spokane*

ACKNOWLEDGMENT

State of Washington) as
County of Spokane)

On this 25th day of April, 2013, before me personally appeared *Thomas Miller*, known to me to be the *Manager* of Washington Trust Bank, who executed the within and foregoing instrument, for the uses and purposes therein mentioned and stated on oath that they were authorized to execute said instrument as his free and voluntary act.



IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written. My commission expires April 18, 2015.

[Signature]
Notary Public in and for the State of Washington,
Residing at *Spokane*



SPOKANE COUNTY COMMISSIONERS

Examined and approved this 21st day of May, 2013.
[Signature]
Chairperson, Spokane County Commissioners

SPOKANE COUNTY TREASURER

I, Treasurer of Spokane County, Washington, do hereby certify that all taxes which have been levied and become chargeable against the land shown within this map and described in the dedication of this date, have been fully paid, satisfied and discharged. Dated this 21st day of May, 2013.
[Signature]
Spokane County Treasurer

SPOKANE COUNTY ASSESSOR

Examined and approved this 22nd day of May, 2013.
[Signature]
Spokane County Assessor

SURVEYOR'S CERTIFICATE:

This map correctly represents a survey made by me or under my supervision in conformity with the requirements of the Spokane County Subdivision Ordinance.

Daniel J. Ahe, P.L.S.
Certificate No. 45775
Date 4/30/2013



PW-1959-05

civil engineering planning
landscape architecture surveying

510 east third avenue | spokane, wa | 99202
p 509.242.1000 | f 509.242.1000

DATE 4/24/2013	SCALE 1" = 100'
FIELD BOOK N/A	DRAWN JDA/BW
PROJECT NUMBER	DRAWING NO.
12-156	1 OF 2

FINAL PLAT OF PILLAR ROCK ESTATES SECOND ADDITION

IN THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4, SECTION 20,
TOWNSHIP 25 NORTH, RANGE 42 EAST, W.M.
SPOKANE COUNTY, WASHINGTON

6210457

36 / 91
P.W. #4141

WEST QUARTER CORNER
FND 3/4" IRON PIPE

CENTER CORNER
FND 1/2" REBAR "PLUS 18100"

SPOKANE COUNTY AUDITOR

REFERENCES
FND. NAIL & TAG IN PP. LS "7317" - N33°E, 38.77'
FND. PK. NAIL IN ASPHALT - S30°W, 56.50'
FND. NAIL & TAG IN PP. LS "7317" - N89°W, 49.58'

REFERENCES
FND. NAIL & TAG IN 9" TREE, LS "35994" - N39°W, 20.56'
FND. NAIL & TAG IN 15" TREE, LS "35994" - S70°W, 41.82'

FILED FOR RECORD THIS 21ST DAY OF
MAY 2013, AT 3:21 MINUTES PAST 3
O'CLOCK P.M.; AND RECORDED IN BOOK 36 OF
PLATS AT PAGES 22-29 RECORDS OF SPOKANE
COUNTY, WASHINGTON, AT THE REQUEST OF
STORHÄUG ENGINEERING, INC.

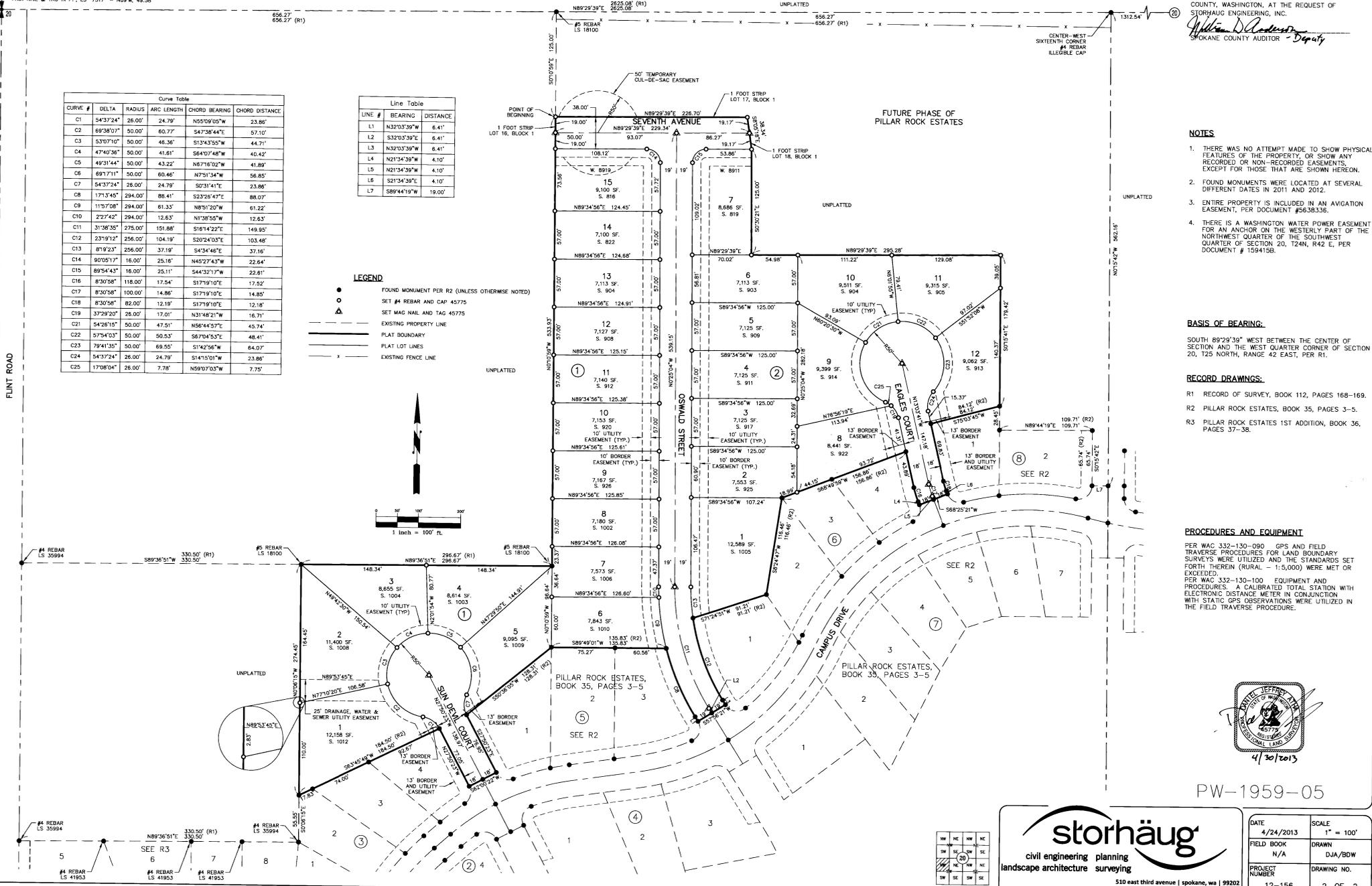
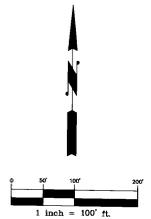
William D. Anderson
SPOKANE COUNTY AUDITOR Deputy

Curve Table					
CURVE #	DELTA	RADIUS	ARC LENGTH	CHORD BEARING	CHORD DISTANCE
C1	54°37'24"	26.00'	24.79'	N55°09'05"W	23.86'
C2	69°38'07"	50.00'	60.77'	S47°38'44"E	57.10'
C3	53°07'10"	50.00'	46.36'	S13°43'55"W	44.71'
C4	47°40'38"	50.00'	41.61'	S64°07'46"W	40.42'
C5	49°31'44"	50.00'	43.22'	N87°16'02"W	41.89'
C6	69°17'11"	50.00'	60.46'	N75°13'34"W	56.85'
C7	54°37'24"	26.00'	24.79'	S03°31'41"E	23.86'
C8	171°3'45"	294.00'	88.41'	S23°26'47"E	88.07'
C9	115°7'08"	294.00'	61.33'	N85°12'0"W	61.22'
C10	22°7'42"	294.00'	12.63'	N1°38'55"W	12.63'
C11	31°08'35"	275.00'	151.88'	S16°14'22"E	149.95'
C12	23°9'12"	256.00'	104.19'	S20°24'03"E	103.48'
C13	8°19'23"	256.00'	37.19'	S43°44'6"E	37.16'
C14	90°05'17"	16.00'	25.16'	N45°27'43"W	22.64'
C15	89°54'43"	16.00'	25.11'	S44°32'17"W	22.61'
C16	8°30'58"	118.00'	17.54'	S17°19'10"E	17.52'
C17	8°30'58"	100.00'	14.86'	S17°19'10"E	14.85'
C18	8°30'58"	82.00'	12.19'	S17°19'10"E	12.18'
C19	37°29'20"	26.00'	17.01'	N31°48'21"W	16.71'
C21	54°28'15"	50.00'	47.51'	N56°44'57"E	43.74'
C22	57°54'03"	50.00'	50.53'	S6°04'53"E	48.41'
C23	79°41'35"	50.00'	69.50'	S1°42'56"W	64.07'
C24	54°37'24"	26.00'	24.79'	S14°15'01"W	23.86'
C25	17°08'04"	26.00'	7.78'	N59°07'03"W	7.75'

Line Table		
LINE #	BEARING	DISTANCE
L1	N32°03'39"W	6.41'
L2	S32°03'39"E	6.41'
L3	N32°03'39"W	6.41'
L4	N21°34'39"W	4.10'
L5	N21°34'39"W	4.10'
L6	S21°34'39"E	4.10'
L7	S89°44'19"W	19.00'

LEGEND

- FOUND MONUMENT PER R2 (UNLESS OTHERWISE NOTED)
- SET #4 REBAR AND CAP 45775
- △ SET MAC NAIL AND TAG 45775
- EXISTING PROPERTY LINE
- - - PLAT BOUNDARY
- - - PLAT LOT LINES
- x EXISTING FENCE LINE



- NOTES**
- THERE WAS NO ATTEMPT MADE TO SHOW PHYSICAL FEATURES OF THE PROPERTY, OR SHOW ANY RECORDED OR NON-RECORDED EASEMENTS, EXCEPT FOR THOSE THAT ARE SHOWN HEREIN.
 - FOUND MONUMENTS WERE LOCATED AT SEVERAL DIFFERENT DATES IN 2011 AND 2012.
 - ENTIRE PROPERTY IS INCLUDED IN AN AVIGATION EASEMENT, PER DOCUMENT #456336.
 - THERE IS A WASHINGTON WATER POWER EASEMENT FOR AN ANCHOR ON THE WESTERLY PART OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 20, T24N, R42 E, PER DOCUMENT # 159415B.

BASIS OF BEARING:
NORTH 89°29'39" WEST BETWEEN THE CENTER OF SECTION AND THE WEST QUARTER CORNER OF SECTION 20, T25 NORTH, RANGE 42 EAST, PER R1.

- RECORD DRAWINGS:**
- R1 RECORD OF SURVEY, BOOK 112, PAGES 168-169.
 - R2 PILLAR ROCK ESTATES, BOOK 35, PAGES 3-5.
 - R3 PILLAR ROCK ESTATES 1ST ADDITION, BOOK 36, PAGES 37-38.

PROCEDURES AND EQUIPMENT

PER WAC 332-130-090 - GPS AND FIELD TRAVERSE PROCEDURES FOR LAND BOUNDARY SURVEYS WERE UTILIZED AND THE STANDARDS SET FORTH THEREIN (RURAL - 1:5,000) WERE MET OR EXCEEDED.

PER WAC 332-130-100 - EQUIPMENT AND PROCEDURES - A CALIBRATED TOTAL STATION WITH ELECTRONIC DISTANCE METER IN CONJUNCTION WITH STATIC GPS OBSERVATIONS WERE UTILIZED IN THE FIELD TRAVERSE PROCEDURE.



PW-1959-05

civil engineering planning
landscape architecture surveying

DATE: 4/24/2013 SCALE: 1" = 100'
FIELD BOOK: N/A DRAWN: DJA/BOW
PROJECT NUMBER: DRAWING NO.:
12-156 2 OF 2

510 east third avenue | spokane, wa | 99202
p 509.242.1000 | f 509.242.1003

12-156 (P) - PG. 2 of 2