

CONSTRUCTION NOTES

- 1) ALL WORK AND MATERIALS SHALL BE IN CONFORMANCE WITH THE "SPOKANE COUNTY STANDARDS FOR ROAD AND SEWER CONSTRUCTION" 2001, AND AS AMENDED.
- 2) LOCATIONS OF EXISTING UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES. ANY CONFLICTING UTILITIES SHALL BE RELOCATED PRIOR TO CONSTRUCTION OF ROAD AND DRAINAGE FACILITIES.
- 3) THE CONTRACTOR IS REQUIRED TO HAVE A COMPLETE SET OF THE APPROVED ROAD AND DRAINAGE PLANS ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- 4) IF THE CONTRACTOR DISCOVERS ANY DISCREPANCIES BETWEEN THE PLANS AND EXISTING CONDITIONS ENCOUNTERED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER AND THE SPOKANE COUNTY ENGINEERS OFFICE.
- 5) FOR CONSTRUCTION OF DRYWELLS, INSTALL FILTER FABRIC (AMOCO 4545 OR APPROVED EQUIVALENT) BETWEEN THE WASHED DRAINROCK AND THE NATIVE SOILS.
- 6) PRIOR TO SITE CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR LOCATING UNDERGROUND UTILITIES. CALL THE UNDERGROUND UTILITY LOCATION SERVICE AT 456-8000 BEFORE YOU DIG.
- 7) FOR ANY CURB GRADES LESS THAN 0.8% (0.008 FT./FT.), A WASHINGTON STATE LICENSED PROFESSIONAL LAND SURVEYOR SHALL VERIFY THAT THE CURB FORMS ARE AT THE GRADES NOTED ON THE APPROVED PLANS, PRIOR TO PLACEMENT OF CURB MATERIAL. THE CONTRACTOR IS RESPONSIBLE FOR ARRANGING AND COORDINATING WORK WITH THE PROFESSIONAL LAND SURVEYOR.
- 8) THE FLOOR OF A GRASSED PERCOLATION AREA (GPA) SWALE INCLUDES THE LEVEL PORTION OF THE FLOOR OF THE SWALE, AND THE SIDE SLOPES OF THE SWALE UP TO THE GPA OVERFLOW ELEVATION OR TOP OF DRYWELL. THE SOIL LOCATED IN THE FLOOR OF THE GPA SWALE SHALL BE A MEDIUM TO WELL-DRAINING MATERIAL, WITH A MINIMUM INFILTRATION RATE OF 0.5 INCHES PER HOUR. THE ENGINEER SHALL PROVIDE A WRITTEN STATEMENT WHICH VERIFIES THAT ALL GPA SWALES CONFORM TO THIS REQUIREMENT. THIS WRITTEN STATEMENT SHALL BE SUBMITTED TO THE SPOKANE COUNTY ENGINEER'S OFFICE PRIOR TO INSTALLING FINISHED LANDSCAPING/SOD AND PRIOR TO FINAL ACCEPTANCE. THE SWALE FLOOR MATERIAL SHALL BE INSTALLED TO A NATIVE SOIL STRATUM WHICH ALSO MEETS OR EXCEEDS THIS MINIMUM PERCOLATION RATE OF 0.5 INCHES PER HOUR.
- 9) AN EROSION/SEDIMENTATION CONTROL (ESC) PLAN IS REQUIRED FOR THIS PROJECT. IMPLEMENTATION OF THE ESC PLAN, AND CONSTRUCTION, MAINTENANCE, AND UPGRADING OF THE ESC FACILITIES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL ALL CONSTRUCTION IS COMPLETED AND ACCEPTED BY SPOKANE COUNTY, OR UNTIL VEGETATION IS ESTABLISHED THROUGHOUT THE SITE, AND ACCEPTED BY SPOKANE COUNTY, WHICHEVER IS LATER.
- 10) APPROVAL OF THE ESC PLAN DOES NOT CONSTITUTE APPROVAL OF ANY OF THE PROPOSED ROAD, STORM DRAINAGE, GRADING OR UTILITY DESIGN ELEMENTS SHOWN ON THE ESC PLAN.
- 11) THE EROSION/SEDIMENTATION CONTROL MEASURES SHOWN ARE THE MINIMUM REQUIREMENTS FOR THE ANTICIPATED SITE CONDITIONS. THE CONTRACTOR SHALL INSPECT AND MAINTAIN THESE ESC MEASURES DAILY, AND SHALL MAINTAIN AND UPGRADE THESE MEASURES AS NECESSARY TO PREVENT SEDIMENT-LADEN WATER FROM EITHER FLOWING OFF THE SITE, OR INTO NEW/EXISTING STORM DRAINAGE FACILITIES, SUCH AS DRYWELLS, CULVERTS, OR GRAVEL GALLERIES.
- 12) GEOTEXTILE FABRIC IS TO BE PLACED ON THE RIMS OF DRYWELLS, CATCH BASINS AND INLETS UNTIL SUCH TIME THE VEGETATION ON THE SITE IS ESTABLISHED AND THE THREAT OF SEDIMENT DEPOSITION INTO THE DRAINAGE SYSTEM IS MITIGATED.
- 13) ONSITE GRADING SHALL BE IN ACCORDANCE WITH THE APPROVED GRADING PLAN AND ESC PLAN. ANY IMPORT OR EXPORT OF MATERIAL SHALL BE FROM A PREAPPROVED SOURCE/DESTINATION AND COORDINATED WITH THE SPOKANE COUNTY DEPARTMENT OF BUILDING AND PLANNING AT 477-3675. GRADING ON THIS SITE OR ANY OTHER SITE MUST COMPLY WITH ALL DEVELOPMENT REGULATIONS INCLUDING, BUT NOT LIMITED TO, GRADING PERMITS, SEPA REVIEW, TIMBER HARVEST PERMITS, CRITICAL AREAS, FLOODPLAINS, DESIGNATED DRAINAGEWAYS, ETC.

CALL BEFORE YOU DIG: 811

PROJECT INFORMATION

OWNER/APPLICANT: PILLAR ROCK, LLC
KIRK KAPPEN

CONTACT NUMBER: (509) 892-1490

PROJECT LOCATION: AIRWAY HEIGHTS, WA

PROPERTY DESCRIPTION (BY SIMPSON ENGINEERS, INC.):

That portion of the NW 1/4 of the SW 1/4 of Section 20, T. 25 N., R. 42 E.W.M. described as follows:

Beginning at the SE corner of Lot 1 Block 2 of the Final Plat of Pillar Rock Estates, as recorded in Book 35 of Plats, Pages 3-5, said common corner to the North Right of Way line of 12th Avenue deeded to Spokane County per recorded document AFN 5565950; thence N89°43'59"E along said North Right of Way line, a distance of 281.56 feet to the SW corner of Tract A of the Final Plat of Pillar Rock Estates Fourth Addition, as recorded in Book 39, Pages 35-36; thence N00°16'01"W, a distance of 213.00 feet to the SW corner of Lot 4, Block 1 of said 4th Addition; thence N15°55'26"E along the West line of said Lot 4, a distance of 37.38 feet to the SE corner of Lot 2, Block 4 of said Final Plat of Pillar Rock; thence S81°25'57"W, a distance of 52.09 feet to the SW corner of said Lot 2; thence N23°25'57"W along the West line of Lot 2, a distance of 27.09 feet; thence S75°05'39"W, a distance of 95.60 feet to the intersection of the West Line of Lot 1, Block 4 extended; thence N27°50'23"W along said West line of Lot 1 extended, a distance of 91.75 feet to the NW corner of Lot 1, Block 4 of said Final Plat of Pillar Rock Estates; thence S61°15'37"W, a distance of 36.00 feet to the NE corner of Lot 4, Block 2 of said Final Plat of Pillar Rock Estates; thence, the next 3 courses along the easterly line of said Block 2, S27°50'23"E, a distance of 83.45 feet to the SE corner of Lot 4; thence S44°28'47"W, a distance of 112.10 feet to the SE corner of Lot 3; thence S00°34'25"W, a distance of 153.23 feet to the Point of Beginning.

Situate in the County of Spokane, State of Washington.

INDEX TO PLAN SET

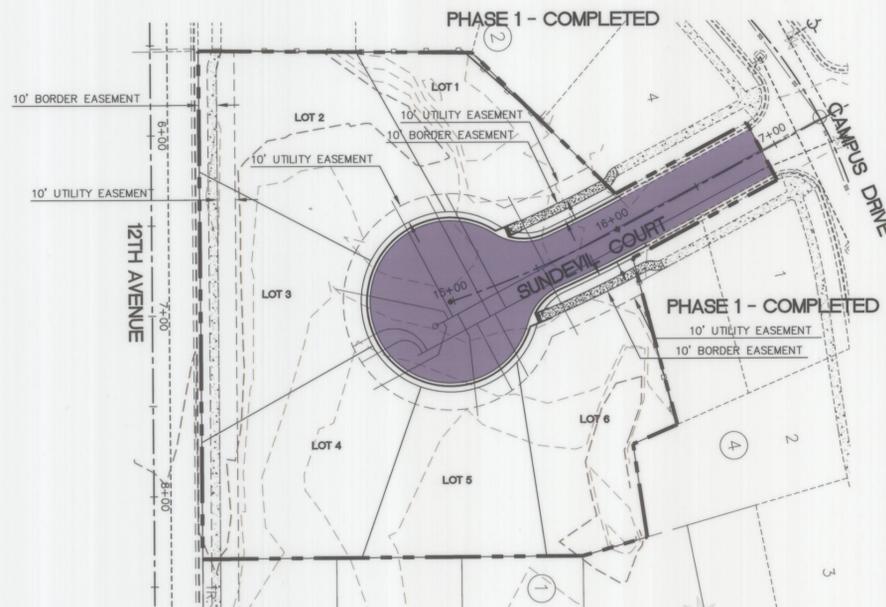
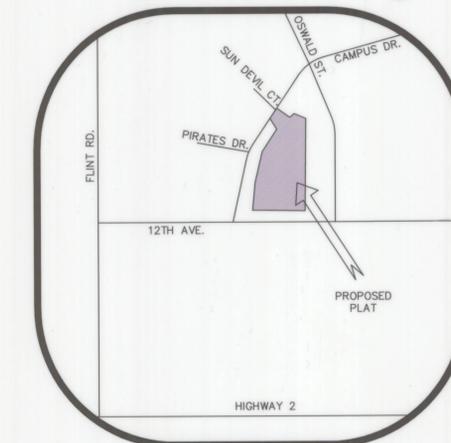
- C7.0 COVER SHEET
- C7.1 EROSION & SEDIMENT CONTROL PLAN
- ST7.0 SUNDEVIL COURT - STREET
STATION 14+97.94 TO 17+29.05
- SD7.0 STORMWATER PLAN
- SS7.0 SUNDEVIL COURT - SEWER
- WA7.0 SUNDEVIL COURT - WATER

**PILLAR ROCK ESTATES
7TH ADDITION**

PW-1959-05

A PLAT IN A PORTION OF THE NW1/4 OF THE SW1/4 OF SECTION 20, T.25 N., R.42 E.W.M. SPOKANE COUNTY, WASHINGTON

VICINITY MAP - N.T.S.



ENGINEER'S CERTIFICATION

THE DESIGN IMPROVEMENTS SHOWN IN THIS SET OF PLANS CONFORM TO THE APPLICABLE EDITIONS OF THE SPOKANE COUNTY ROAD STANDARDS AND THE 2008 SPOKANE REGIONAL STORMWATER MANUAL. ALL DESIGN DEVIATIONS HAVE BEEN APPROVED BY THE SPOKANE COUNTY ENGINEER. I APPROVE THESE PLANS FOR CONSTRUCTION.

Con Sign
ENGINEERS' APPROVAL 11/9/17
DATE

Bliss
DEVELOPERS' APPROVAL 11/9/17
DATE



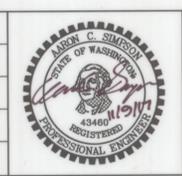
LEGEND

- - - PROPOSED ASPHALT
- - - PROPOSED CONCRETE SIDEWALK
- - - EXISTING CONCRETE SIDEWALK
- - - PROPOSED CONCRETE DRIVEWAY
- PROPOSED CATCH BASIN
- - - EXISTING GROUND CONTOUR

SPOKANE COUNTY ENGINEERS OFFICE
OFFICIAL PUBLIC DOCUMENT ORIGINAL
CONSTRUCTION PLANS
PROJECT #: PW-1959-05
DATE ACCEPTED: 11-14-17
ACCEPTANCE EXPIRES: 11-14-19
PROJECT LANE MILES PUBLIC: .16
PROJECT LANE MILES PRIVATE: 0
RECORD DRAWINGS, "AS-BUILT" ARE REQUIRED PRIOR TO COUNTY ACCEPTANCE AND ESTABLISHMENT OF THE ROADS AND DRAINAGE FACILITIES FOR MAINTENANCE.
PERMIT REQUIRED! (509) 477-3600
NOTIFY PERMIT ENGINEER 2 BUSINESS DAYS PRIOR TO CONSTRUCTION

MJK	DATE	REVISIONS / AS BUILT
MJK	10-30-2017	FIRST SUBMITTAL TO SPOKANE COUNTY
MJK	11-09-2017	SECOND SUBMITTAL TO SPOKANE COUNTY - ADDRESS COMMENTS

BENCH MARK	SCALE	DATE
ELEVATION 2295.42 (NAVD83 DATUM)	HORIZONTAL 1"=50'	11-09-2017
DESCRIPTION SEWER MANHOLE RIM LOCATED IN THE INTERSECTION OF CAMPUS DRIVE & OSWALD STREET	VERTICAL 1"=10'	11-09-2017



Founded 1946
Simpson Engineers, Inc.
CIVIL ENGINEERS & LAND SURVEYORS
N. 909 ARGONNE ROAD, SPOKANE VALLEY WA., 99212-2789
PHONE (509) 926-1322 FAX (509) 926-1323

TYPE OF IMPROVEMENT:	
COVER	
PROJECT NUMBER	SHEET NUMBER
16332-7TH	C7.0

PILLAR ROCK ESTATES - 7TH ADDITION
COVER SHEET
THE SW1/4 OF SECTION 20, T.25 N., R.42 E.W.M.

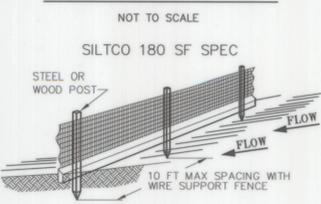
P:\Projects\16332-7th Addition.dwg 11/9/2017 9:42:03 AM PST

TEMPORARY EROSION AND SEDIMENT CONTROL NOTES

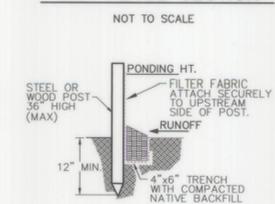
- The following construction sequence shall be followed in order to best minimize the potential for erosion and sediment control problems:
 - Clear and grub and rough grade sufficiently of temporary ESC BMPs;
 - Install temporary ESC BMPs, constructing sediment trapping BMPs as one of the first steps prior to grading;
 - Clear, grub and rough grade for roads, temporary access and utility locations;
 - Stabilize roadway approaches and temporary access points with the appropriate construction entry BMP;
 - Clear, grub and grade individual lots or groups of lots;
 - Temporarily stabilize, through re-vegetation or other appropriate BMPs, lots or groups of lots in situations where substantial cut or fill slopes are a result of the site grading;
 - Construct roads, buildings, permanent stormwater facilities (i.e., inlets, ponds, UIC facilities, etc.);
 - Protect all permanent stormwater facilities utilizing the appropriate BMPs;
 - Install permanent ESC controls, when applicable; and,
 - Remove temporary ESC controls when:
- Permanent ESC controls, when applicable, have been completely installed;
- All land-disturbing activities that have the potential to cause erosion or sedimentation problems have ceased; and,
- Vegetation has been in the areas noted as requiring vegetation on the accepted ESC plan on file with the local jurisdiction.
- Inspect all roadways, at the end of each day, adjacent to the construction access route. If it is evident that sediment has been tracked off site and/or beyond the roadway approach, cleaning is required.
- If sediment removal is necessary prior to street washing, it shall be removed by shoveling or pickup sweeping and transported to a controlled sediment disposal area.
- If street washing is required to clean sediment tracked off site, once sediment has been removed, street wash wastewater shall be controlled by pumping back on-site or otherwise prevented from discharging into systems tributary to waters of the state.
- Restore construction access route equal to or better than the pre-construction condition.
- Retain the duff layer, native topsoil, and natural vegetation in an undisturbed state to the maximum extent practical.
- Inspect sediment control BMPs weekly at a minimum, daily during a storm event, and after any discharge from the site (stormwater or non-stormwater). The inspection frequency may be reduced to once a month if the site is stabilized and inactive.
- Control fugitive dust from construction activity in accordance with the state and/or local air qualities with jurisdiction over the project area.
- Stabilize exposed unworked soils (including stockpiles), whether at final grade or not, within 10 days during the regional dry season (July 1 through September 30) and within 5 days during the regional wet season (October 1 through June 30). Soils must be stabilized at the end of a shift before a holiday weekend if needed based on the weather forecast. This time limit may not only be adjusted by a local jurisdiction with a "Qualified Local Program," if it can be demonstrated that the recent precipitation justifies a different standard and meets the requirements set forth in the Construction Stormwater General Permit.
- Protect inlets, drywells, catch basins and other stormwater management facilities from sediment, whether or not facilities are operable.
- Keep roads adjacent to inlets clean.
- Inspect inlets weekly at a minimum and daily during storm events.
- Construct stormwater facilities (detention/retention storage pond or swales) before grading begins. These facilities shall be operational before the construction of impervious site improvements.
- Stockpile materials (such as topsoil) on site, keeping off of roadway and sidewalks.
- Cover, contain and protect ass chemicals, liquid products, petroleum product, and non-inert wastes present on site from vandalism (see Chapter 173-304 WAC for the definition of inert waste), use secondary containment for on-site fueling tanks.
- Conduct maintenance and repair of heavy equipment and vehicles involving oil changes, hydraulic system repairs, solvent and de-greasing operations, fuel tank drain down and removal, and other activities that may result in discharge or spillage of pollutants to the ground or into stormwater runoff using spill prevention measures, such as drip pans. Clean all contaminated surfaces immediately following any discharge or spill incident. If raining over equipment or vehicle, perform emergency repairs n site using temporary plastic beneath the vehicle.
- Conduct application of agricultural chemicals, including fertilizers and pesticides, in such a manner, and at application rates, that inhibits the loss of chemicals into stormwater runoff facilities. Amend manufacture's recommended application rates and procedures to meet this requirement, if necessary.
- Inspect on a regular basis (at a minimum weekly, and daily a runoff producing storm event) and maintain all erosion and sediment control BMPs to ensure successful performance of the BMPs. Note that inlet protection devices shall be cleaned or removal and replace before six inches of sediment can accumulate.
- Remove temporary ESC BMPs within 30 days after the temporary BMPs are no longer needed. Permanently stabilize areas that are disturbed during the removal process.
- A site log shall be completed with the project per SS5.4.

OWNER/APPLICANT	PILLAR ROCK, LLC / KIRK KAPPEN
CONTACT PERSON AT SITE	(509) 892-1490
PROJECT LOCATION	AIRWAY HEIGHTS, WA EAST OF CAMPUS DRIVE & 12TH AVENUE
PROJECT DESCRIPTION	6 LOT PLAT
ESC MEASURES	SILT FENCE, INLET PROTECTION, CONCRETE WASHOUT, AND CONSTRUCTION ENTRANCE
SITE VEGETATION	NATIVE DIRT AND PASTURE
SITE SOIL TYPES	3115 : NORTHSTAR-ROCK OUTCROP 3134 : PHEOBE ASHY SANDY

SILT FENCE DETAIL



SILT FENCE SECTION



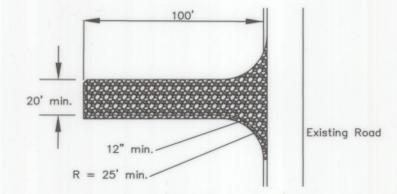
SILT FENCE NOTES

- INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
- REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
- SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
- TEMPORARY SILT FENCE LOCATION SHOWN ON THIS PLAN IS SCHEMATIC IN NATURE. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING ALL SILT RUNOFF DURING CONSTRUCTION.

**PILLAR ROCK ESTATES
7TH ADDITION**

PW-1959-05

A PLAT IN A PORTION OF THE NW1/4 OF OF THE SW1/4 OF SECTION 20, T.25 N., R.42 E.W.M. SPOKANE COUNTY, WASHINGTON



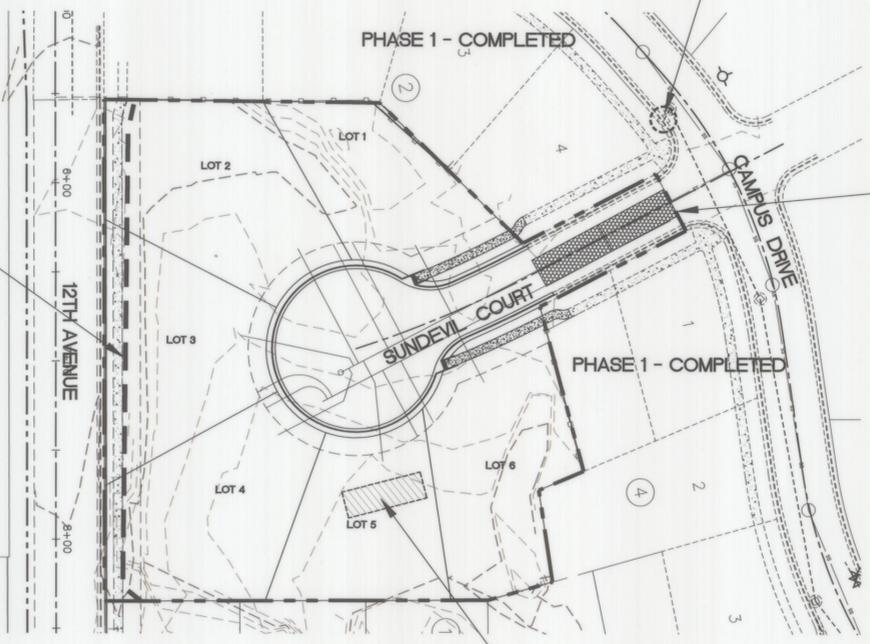
- Material should be quarry spalls (where feasible), 4 inches to 8 inches size.
- The rock pad shall be at least 12 inches thick and 100 feet in length for sites more than 1 acre, and may be reduced to 50 feet in length for sites less than 1 acre. Site is approximately 19.3 acres.
- Width shall be the full length of the vehicle egress area (minimum 20 feet).
- Additional rock should be added periodically to maintain proper function of the pad.
- See figure II-5.4 per Spokane County Stormwater Management Manual.

Proposed Storm Sewer System Typ. Protect all Drywells, Inlets and Pipes from Sediment with Geotextile Fabric

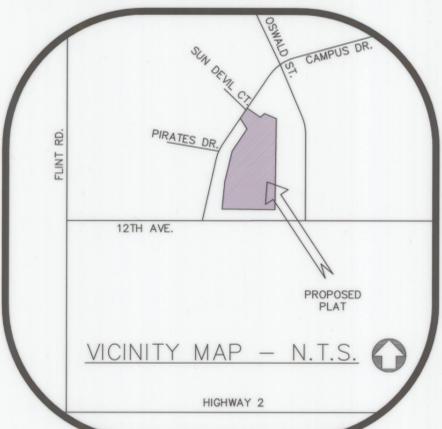
SILT FENCE (See Detail above) Locate as needed for Sediment Control

CONSTRUCTION ACCESS ROUTE

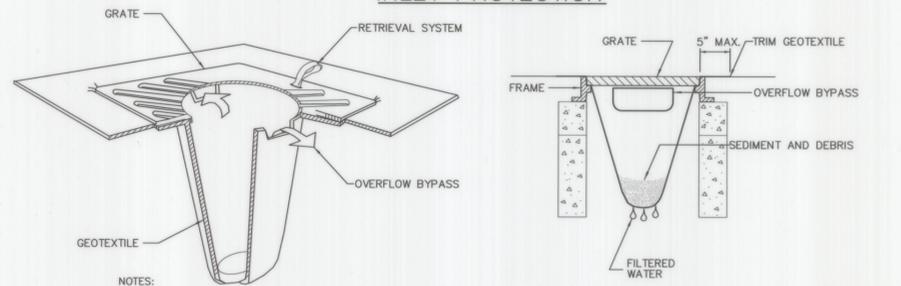
Construction entrance/exit shall be 20'x 100' (min.) stabilized area of 4" to 8"-dia. cobbles, 12" deep
NOTE: All construction traffic to access site from Saltese Road.



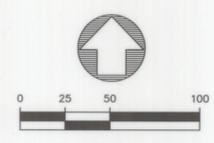
SPOKANE COUNTY ENGINEERS OFFICE
OFFICIAL PUBLIC DOCUMENT ORIGINAL
CONSTRUCTION PLANS
PROJECT #: PW-1959-05
DATE ACCEPTED: 11-18-17
ACCEPTANCE EXPIRES: 11-14-19
PROJECT LANE MILES PUBLIC: .10
PROJECT LANE MILES PRIVATE: .0
CONSTRUCTION DOCUMENTATION AND CERTIFIED RECORD DRAWINGS, "AS-BUILT" ARE REQUIRED PRIOR TO COUNTY ACCEPTANCE AND ESTABLISHMENT OF THE ROADS AND DRAINAGE FACILITIES FOR MAINTENANCE.
PERMIT REQUIRED! (509) 477-3600
NOTIFY PERMIT ENGINEER 2 BUSINESS DAYS PRIOR TO CONSTRUCTION.



INLET PROTECTION



- NOTES:
- INLET PROTECTION MUST BE REGULARLY INSPECTED BY THE EROSION CONTROL INDIVIDUAL TO INSURE PROPER PLACEMENT/FUNCTION AND MAINTENANCE.
 - WHEN REMOVING FILTER FABRIC AFTER CONSTRUCTION, CONTRACTOR MUST NOT ALLOW ANY MATERIAL TO SPILL INTO INLET TO PREVENT CONTAMINATION.



ENGINEER'S CERTIFICATION FOR ESC PLAN

THE RECOMMENDED PROVISIONS SHOWN IN THIS EROSION & SEDIMENT CONTROL PLAN MEET THE APPLICABLE REQUIREMENTS FOR ESC PLANS AS LISTED IN CHAPTER 9 OF THE 2008 REGIONAL STORMWATER MANAGEMENT. I APPROVE THIS PLAN FOR CONSTRUCTION.

Alan Dujin 11/9/17
DESIGN ENGINEER DATE

9.2.17 11/9/17
DEVELOPER DATE

MJK	10-30-2017	FIRST SUBMITTAL TO SPOKANE COUNTY
MJK	11-09-2017	SECOND SUBMITTAL TO SPOKANE COUNTY - ADDRESS COMMENTS
BY	DATE	REVISIONS / AS BUILT

BENCH MARK	SCALE	DATE
ELEVATION 2295.42 (NAVD88 DATUM)	HORIZONTAL 1"=50'	DRAWN MJK 11-09-2017
DESCRIPTION SEWER MANHOLE RIM LOCATED IN THE INTERSECTION OF CAMPUS DRIVE & OSWALD STREET	VERTICAL 1"=10'	CHECKED MJK 11-09-2017
		APPROVED ACS 11-09-2017



Founded 1946
Simpson Engineers, Inc.
CIVIL ENGINEERS & LAND SURVEYORS
N. 909 ARGONNE ROAD, SPOKANE VALLEY WA., 99212-2789
PHONE (509) 926-1322 FAX (509) 926-1323

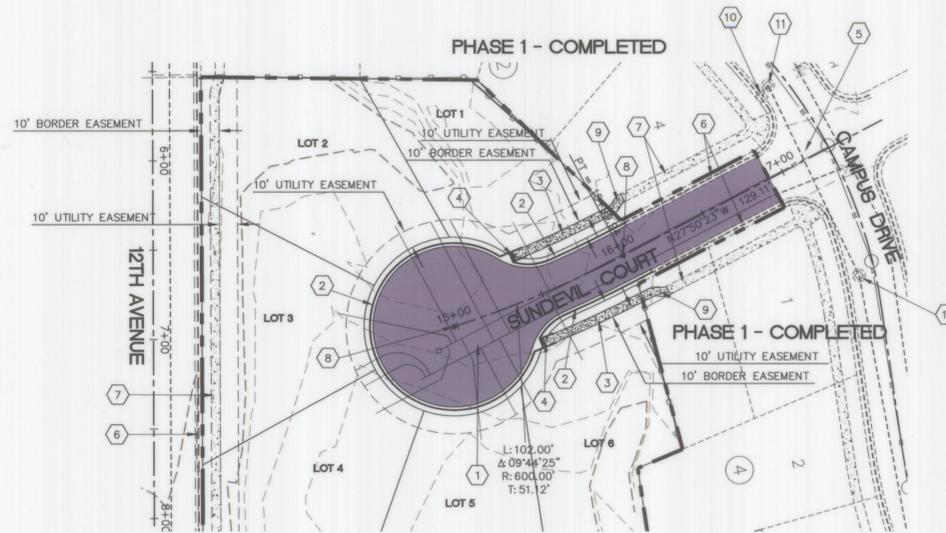
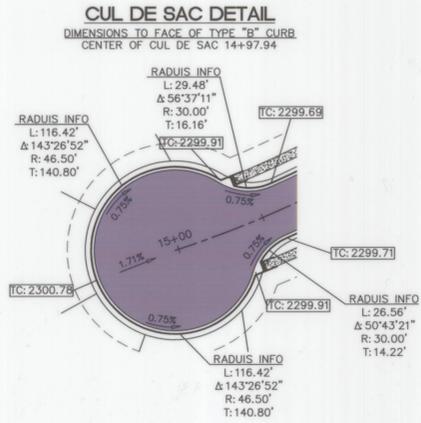
TYPE OF IMPROVEMENT: ESC	
PROJECT NUMBER	SHEET NUMBER
16332-7TH	C7.1

PILLAR ROCK ESTATES - 7TH ADDITION
EROSION AND SEDIMENT CONTROL PLAN
THE SW1/4 OF SECTION 20, T.25 N., R.42 E.W.M.

PILLAR ROCK ESTATES 7TH ADDITION

PW-1959-05

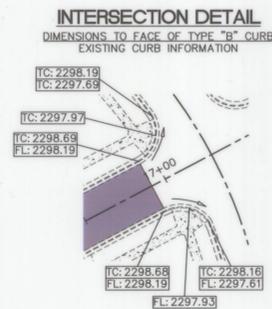
A PLAT IN A PORTION OF THE NW1/4 OF OF
THE SW1/4 OF SECTION 20, T.25 N., R.42 E.W.M.
SPOKANE COUNTY, WASHINGTON



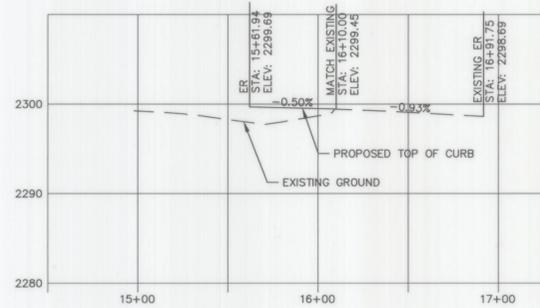
NOTE
DRIVEWAYS ARE TO BE CUT IN AT TIME OF BUILDING PERMIT. CONTRACTOR TO COORDINATE FUTURE LOCATION OF DRIVEWAYS TO POUR 6" THICK SIDEWALK THROUGH DRIVEWAY. SEPERATE APPROACH PERMITS WILL BE REQUIRED FOR EACH DRIVEWAY AT TIME OF LOT DEVELOPMENT

CONSTRUCTION NOTES - STREET PLANS - SPOKANE COUNTY

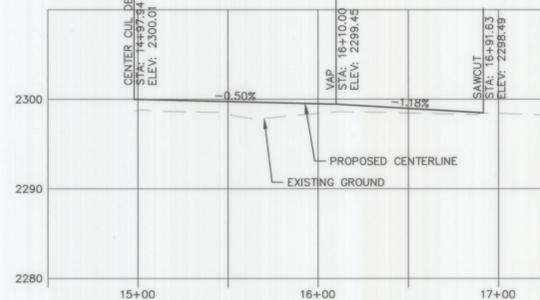
- 1 INSTALL ASPHALT CONCRETE PAVEMENT PER SPO. CO. STDS.
- 2 INSTALL CONCRETE CURB AND GUTTER PER SPO. CO. STD. SHEET A-3
- 3 INSTALL 5' SIDEWALK PER SPO. CO. STD. SHEET A-1
- 4 INSTALL CURB RAMP PER WSDOT STD. PLAN F-40.16-02
- 5 EXISTING ASPHALT PAVEMENT
- 6 EXISTING TYPE "B" CURB
- 7 EXISTING 5' WIDE CONCRETE SIDEWALK
- 8 CENTERLINE MONUMENT TO BE SET BY PLS, AS SHOWN ON FINAL PLAT
- 9 TRANSITION FROM 7' LANDSCAPING TO 10' LANDSCAPING SIDEWALK INSIDE RADIUS=5', SIDEWALK OUTSIDE RADIUS=10'
- 10 EXISTING CATCH BASIN PER PILLAR ROCK DESIGN PLANS
- 11 EXISTING STORM MANHOLE PER PILLAR ROCK DESIGN PLANS



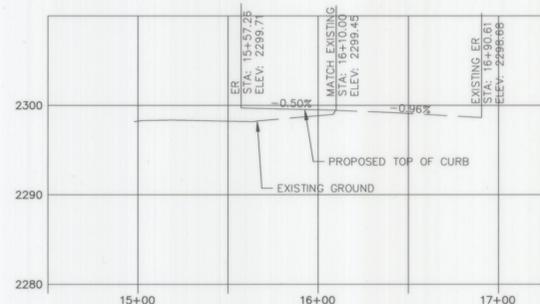
PROPOSED TOP OF CURB LEFT



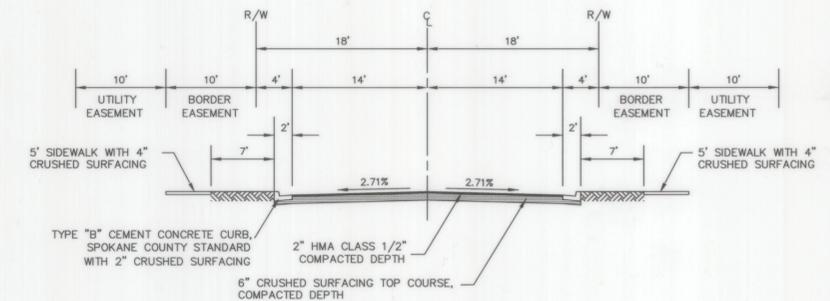
PROPOSED CENTERLINE



PROPOSED TOP OF CURB RIGHT

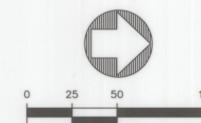


SPOKANE COUNTY ENGINEERS OFFICE
OFFICIAL PUBLIC DOCUMENT ORIGINAL
CONSTRUCTION PLANS
PROJECT #: F-17576
DATE ACCEPTED: 11-14-17
ACCEPTANCE EXPIRES: 11-14-19
PROJECT LANE MILES PUBLIC: 0.10
PROJECT LANE MILES PRIVATE: 0.00
CONSTRUCTION DOCUMENTATION AND CERTIFIED RECORD DRAWINGS, "AS-BUILT" ARE REQUIRED PRIOR TO COUNTY ACCEPTANCE AND ESTABLISHMENT OF THE ROADS AND DRAINAGE FACILITIES FOR MAINTENANCE.
PERMIT REQUIRED! (509) 477-3600
NOTIFY PERMIT ENGINEER 2 BUSINESS DAYS PRIOR TO CONSTRUCTION



TYPICAL SECTION: SUNDEVIL COURT

NOT TO SCALE
REFERENCE GEOTECHNICAL EVALUATION
PERPARED BY INTERMOUNTAIN MATERIALS
TESTING & GEOTECHNICAL, DATED
NOVEMBER 13, 2015

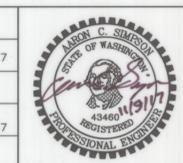


UTILITY LOCATE NOTE:
ALL UTILITIES SHALL BE LOCATED PRIOR TO CONSTRUCTION.
• CALL 2 BUSINESS DAYS BEFORE YOU DIG
• 811 OR 1-800-424-5555

NOTE:
EXACT LOCATIONS, SIZES AND DEPTHS OF UNDERGROUND UTILITIES ARE NOT KNOWN. UNDERGROUND UTILITIES SHOWN ARE TAKEN FROM EXISTING RECORDS AND ARE SHOWN FOR CONVENIENCE OF THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE TO TO UTILITIES LOCATED, AND SHALL CONTACT ALL UTILITY OWNERS AND CONFIRM LOCATIONS OF UTILITIES BEFORE DIGGING AND TO COORDINATE AND COOPERATE FULLY WITH EXISTING UTILITY DISTRICTS AND COMPANIES.

MJK	DATE	DESCRIPTION
MJK	10-30-2017	FIRST SUBMITTAL TO SPOKANE COUNTY
MJK	11-09-2017	SECOND SUBMITTAL TO SPOKANE COUNTY - ADDRESS COMMENTS
BY	DATE	REVISIONS / AS BUILT

BENCH MARK	SCALE	DATE
ELEVATION 2295.42 (NAV88 DATUM)	HORIZONTAL 1"=50'	11-09-2017
DESCRIPTION SEWER MANHOLE RIM LOCATED IN THE INTERSECTION OF CAMPUS DRIVE & OSWALD STREET	VERTICAL 1"=10'	11-09-2017



Founded 1946
Simpson Engineers, Inc.
CIVIL ENGINEERS & LAND SURVEYORS
N. 909 ARGONNE ROAD, SPOKANE VALLEY WA., 99212-2789
PHONE (509) 926-1322 FAX (509) 926-1323

TYPE OF IMPROVEMENT:	
STREET	
PROJECT NUMBER	SHEET NUMBER
16332-7TH	ST7.0

PILLAR ROCK ESTATES - 7TH ADDITION
PILLAR ROCK DRIVE
STATION 14+97.94 TO 17+29.05
THE SW1/4 OF SECTION 20, T.25 N., R.42 E.W.M.

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