

**KIMBERLY PARK ADDITION
PORTION OF SW1/4, SECTION 22, T27N, R43E, W.M.
SPOKANE COUNTY, WASHINGTON
SHEET 1 OF 2**

4132016

4132016
AUDITOR'S CERTIFICATE
FILED FOR RECORD THIS 18 DAY OF
August 1997 AS 27 PM '97
BOOK 44 OF PLATS AT PAGE 2 AT THE
REQUEST OF J. Paul Ramer
Plat # 3358

DEDICATION

BE IT KNOWN BY THESE PRESENTS that HOWES QUALITY DEVELOPMENT CO., a Washington Corporation and STERLING SAVINGS ASSOCIATION, a Washington Corporation, have caused to be platted into lots, blocks and streets the lands shown hereon to be known as KIMBERLY PARK ADDITION, and being legally described as follows:

All that certain real property situated in the SW1/4 of Section 22, T27N, R43E, W.M., Spokane County, Washington, and being particularly described as follows:

BEGINNING at the northeasterly corner of Lot 1, Block 5, HILL TOP ADDITION, as recorded in Book 6 of Long Plats at Page 68, Spokane County records, and point on the southerly right-of-way line of Colbert Road, a county road being 60 feet in width; thence from said point of beginning S89°53'58"E, along said southerly right-of-way line 494.94 feet to the northwesterly corner of Lot 1, Block 1, RANCHETTES NORTH, as recorded in Book 13 of Long Plats at Page 73, Spokane County Records; thence S01°22'12"E along the westerly line of said Block 1 of RANCHETTES NORTH 1255.11 feet; thence leaving said westerly line N89°54'34"W 281.52 feet; thence S55°53'03"W 53.35 feet; thence N89°54'34"W 168.77 feet to a point on the easterly line of said Block 5 of HILL TOP ADDITION; thence N01°21'35"W, along said easterly line 1285.19 feet to the point of beginning.

- Side yard and rear yard setback shall be determined at the time building permits are requested, unless these setbacks are specifically drafted on this Final Plat. The setbacks indicated on this plat may be varied from, if proper zoning approvals are obtained.
- The public water system, pursuant to the Water Plan as approved by county and state health authorities, the local fire protection district, Spokane County Division of Building and Planning, and water purveyor, shall be installed within this plat, and the applicant shall provide for individual domestic water service as well as fire protection to each lot prior to sale of each lot and prior to issuance of a building permit for each lot.

Use of private wells and water systems is prohibited.
- No direct access to lots shall be allowed from Colbert Road.
- Future slope easements as required along Colbert Road are hereby granted to Spokane County.
- Utility easements shown on the herein described plat are hereby dedicated to the serving utility companies for construction, reconstruction, maintenance and operation of utilities, together with the right to inspect said utilities and to trim and/or remove brush and trees that may interfere with the construction, maintenance and operation of same.

6. The owner(s) or successor(s) in interest agree to authorize the County to place their name(s) on a petition for the formation of a Road Improvement District (RID) by the petition method pursuant to Chapter 36.88 RCW, which petition includes the owner(s)' property, and further not to object, by the signing of a ballot, to the formation of an RID by the resolution method pursuant to Chapter 36.88 RCW, which resolution includes the owner(s)' property. If an RID is formed by either the petition or resolution method as provided for in Chapter 36.88 RCW, the owner(s) or successor(s) further agree:

- that the improvement(s) or construction contemplated within the proposed RID is feasible;
- that the benefits to be derived from the formation of the RID by the property included therein, together with the amount of any County participation, exceed the cost and expense of formation of the RID, and
- that the property within the proposed RID is sufficiently developed.

Provided further that the owner(s) or successor(s) shall retain the right, as authorized under RCW 36.88.090, to object to any assessment(s) on the property as a result of the improvements called for in conjunction with the formation of a RID by either the petition or resolution method under Chapter 36.88 RCW and to appeal to the Superior Court the decision of the Board of County Commissioners confirming the final assessment roll.

It is further agreed that at such time as an RID is created or any Road Improvement Project is authorized by Spokane County, the improvements required (curb, sidewalk, drainage control and paving) will be at the sole expense of the undersigned owner(s), their heirs, grantees and assigns without participation by Spokane County.

The RID waiver contained in this agreement shall expire after ten (10) years from the date of execution below. However, the owner(s) or successor(s) agree that if said RID waiver expires without construction of the required improvements, the owner(s) or successor(s) agree to construct the required improvements at their own expense, pay to Spokane County the then estimated cost of the required improvements to enable the County to complete the same, or furnish a bond or other secure method suitable to the County (which may include the execution of another RID waiver agreement) providing for or securing to the County the actual construction of the improvements.

All of the requirements of this agreement shall run with the land and shall be binding upon the owner(s), their successor(s) or assign(s). This provision is applicable to the curb and sidewalk section of Colbert Road.

7. The Platlor hereby dedicates forever the street rights-of-way shown hereon for public road purposes.

- Subject to specific application approval and issuance of permits by the Health Officer, the use of individual on-site sewage systems may be authorized.
- The owner(s) or successor(s) in interest agree to authorize the County to place their name(s) on a petition for the formation of a ULID by petition method pursuant to RCW 36.94, which petition includes the owner(s)' property; and further not to object by the signing of a protest petition against the formation of a ULID by resolution method pursuant to RCW Chapter 36.94 which includes the owner(s)' property. PROVIDED, this condition shall not prohibit the owner(s) or successor(s) from objecting to any assessments on the property as a result of improvements called for in conjunction with the formation of a ULID by either petition or resolution method under RCW Chapter 36.94.
- Lot 1, Block 3 as shown hereon is dedicated to Spokane County as general County property to be deeded for road purposes forever at such time as the roads are continued at full width right-of-way by dedication or deed.
- Drainage easements as platted and shown hereon, which are for the purpose of installing, operating, and maintaining drainage swales and drainage facilities as condition of plat approval are hereby granted to Spokane County and the public. Spokane County and its authorized agents are hereby granted the right of ingress and egress to, over, and from said easements.
- The property owner or representative shall inform each succeeding purchaser of all drainage easements on the property and their responsibility for maintaining surface drainage paths and swales within said easements.
- Any new building that is constructed on a lot in this Plat shall be set at such an elevation so as to provide positive drainage away from any drainage entry point to the building (including but not limited to a window well, a window unprotected by a window well, or a doorway). Said positive drainage shall consist of a minimum slope of 3% away from the building for a distance of at least 10 feet from the building. The lots shall be graded so that either a) all runoff is routed away from the building, and conveyed over the lot to a natural drainage swale or approved drainage facility, or b) drainage intercepted on the lot is disposed of on the lot in an approved drainage facility. The approved drainage facility shall be constructed in accordance with the approved plans on file at the County Engineer's Office. Any revisions to the approved drainage plans must be approved by the County Engineer's Office prior to construction of said revisions. The subdivider/sponsor will construct the associated drainage facilities in conformance with the approved plans on file in the County Engineer's Office.
- The property owners within this Plat shall be held responsible for keeping open and maintaining the surface path of natural or man-made drainage flow over and across their respective properties. Spokane County does not accept the responsibility of maintaining the drainage course on private lots within drainage easements or floodplain areas, nor the responsibility for any damage, whatsoever, including but not limited to inverse condemnation to any properties due to deficient construction and/or maintenance of drainage courses on private property.
- If the property owner fails to maintain the surface path of natural or man-made drainage flow, or the drainage swale, a notice of such failure may be given to the property owner by the County Engineer. If not corrected within the period indicated on said notice, Spokane County has the right to correct the maintenance failure, or have it corrected, at the expense of the property owner.
- The property owners within this Plat shall maintain all water quality treatment swales ("208 swales") and drainage ditches situated on their respective properties, and any portion of a 208 swale situated in the public right-of-way adjacent to their respective properties, with a permanent ground cover as specified on the current approved plans on file at the County Engineer's Office. Spokane County does not accept the responsibility to inspect or maintain the drainage easements or drainage swales, nor does the County accept any liability for any failure by the lot owner(s) to properly maintain such areas.
- The 15 foot sidewalk easement adjacent to Highland Road is hereby dedicated to the public. The lot owners shall be responsible for maintenance of the sidewalk within said easement.
- Alternative methods of sewage disposal may be required.
- Tracts A and B are hereby dedicated to KIMBERLY PARK HOMEOWNERS ASSOCIATION created by document recorded June 30, 1992 under State U.B.I. number 601 802 545.

Tracts A and B cannot be sold or transferred, and shall be considered subservient estates for tax purposes to the other lots created herein.

The status of the areas designated, as subservient estates for tax purposes, cannot be changed without filling a replat.

The County of Spokane is hereby granted the right of ingress and egress to Tracts A and B.

Should the Kimberly Park Homeowners Association be terminated for any reason, the successors in interest shall be the individual lot owners, or their successors in interest, who are members of the Kimberly Park Homeowners Association at the time of said termination.

IN WITNESS WHEREOF the aforementioned persons do hereby affix their signatures:

Ron Howes
For: HOWES QUALITY DEVELOPMENT
Title: Pres. Date: 7-17-97

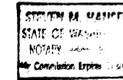
Thomas F. Schlegel
For: STERLING SAVINGS ASSOCIATION
Title: Vice Pres. Date: 7/18/97

ACKNOWLEDGEMENT

State of Washington
County of Spokane)

I certify that I know or have satisfactory evidence that Ron Howes signed this instrument, on oath stated that he was authorized to execute the instrument and acknowledged it as the President of the HOWES QUALITY DEVELOPMENT to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.
Dated: July 17, 1997

Steen M. Hansen
Notary Public
My appointment expires: 11-01-97



State of Washington
County of Spokane)

I certify that I know or have satisfactory evidence that Thomas F. Schlegel signed this instrument, on oath stated that he was authorized to execute the instrument and acknowledged it as the Vice President of the STERLING SAVINGS ASSOCIATION to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.
Dated: 7/18/97

Dorel Becker
Notary Public
My appointment expires: 04-13-2000



COUNTY ASSESSOR

EXAMINED AND APPROVED THIS 25 DAY OF

July, 1997
J.C. Corey
DEPUTY COUNTY ASSESSOR

COUNTY DIVISION OF BUILDING AND PLANNING

EXAMINED AND APPROVED THIS 16 DAY OF

July, 1997
John Pederson
DIRECTOR OF DIVISION OF BUILDING AND PLANNING

COUNTY UTILITIES

EXAMINED AND APPROVED THIS 21 DAY OF

July, 1997
Steve P. Hardy
COUNTY UTILITIES

COUNTY TREASURER

I hereby certify that the required taxes on the hereon platted land have been fully paid this 18 day of August, 1997

Lawrence E. Benson
SPOKANE COUNTY TREASURER

REGIONAL HEALTH DISTRICT

EXAMINED AND APPROVED THIS 25 DAY OF

July, 1997
Steve P. Hardy
SPOKANE REGIONAL HEALTH DISTRICT

COUNTY ENGINEER

EXAMINED AND APPROVED THIS 30 DAY OF

July, 1997
W. J. O'Neil
COUNTY ENGINEER

SURVEYORS CERTIFICATE

This map correctly represents a survey made by me or under my direction in conformance with the requirements of the Spokane County Subdivision Ordinance.

Lawrence E. Benson
LAWRENCE E. BENSON, P.L.S.
Certificate #18076

COUNTY COMMISSIONERS

EXAMINED AND APPROVED THIS 6 DAY OF

July, 1997
Jim Roshell
CHAIRPERSON: BOARD OF COMMISSIONERS



J. PAUL RAMER & ASSOCIATES, INC.
CIVIL ENGINEERS AND LAND SURVEYORS
N. 10115 NEWPORT HWY, SPOKANE, WA 99208 (509) 467-5261

3358

24-89

KIMBERLY PARK ADDITION

PORTION OF SW 1/4, SECTION 22, T27N, R43E, W.M.

SPOKANE COUNTY, WASHINGTON

SHEET 2 OF 2

4132016 B27413 90

AUDITOR'S CERTIFICATE

Filed for record this 18 day of August, 1997
 at 11:41 A.M. in book 27 of Plat 3358 page 10 at the
 request of J. Paul Ramer & Associates, Inc.

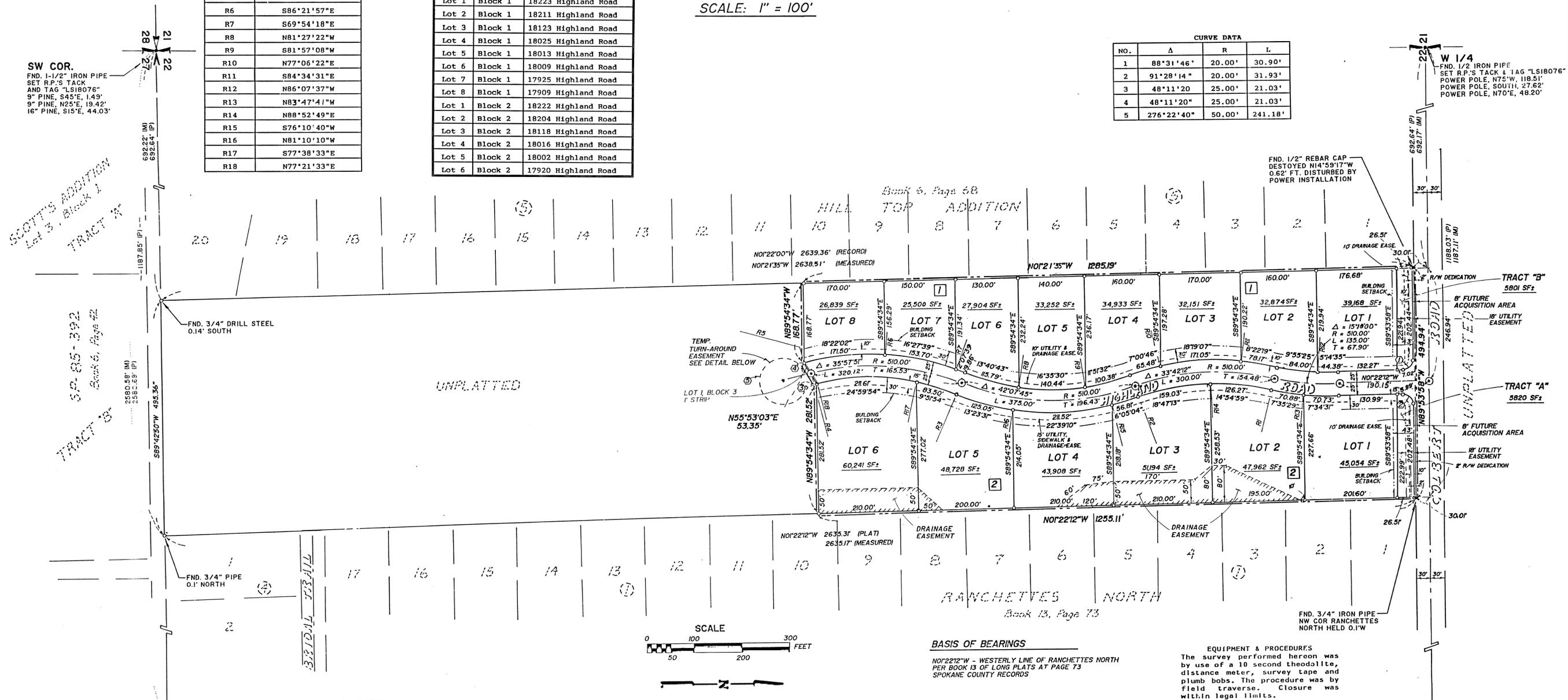
(Signed) *J. Paul Ramer*
 County Auditor
 Plat # 3358

RADIAL BEARING TABLE	
	RADIAL BEARING
R1	S76°12'12"E
R2	N70°05'36"E
R3	S67°46'39"E
R4	N76°15'30"E
R5	N75°16'01"E
R6	S86°21'57"E
R7	S69°54'18"E
R8	N81°27'22"W
R9	S81°57'08"W
R10	N77°06'22"E
R11	S84°34'31"E
R12	N86°07'37"W
R13	N83°47'41"W
R14	N88°52'49"E
R15	S76°10'40"W
R16	N81°10'10"W
R17	S77°38'33"E
R18	N77°21'33"E

Addresses		
Lot 1	Block 1	18223 Highland Road
Lot 2	Block 1	18211 Highland Road
Lot 3	Block 1	18123 Highland Road
Lot 4	Block 1	18025 Highland Road
Lot 5	Block 1	18013 Highland Road
Lot 6	Block 1	18009 Highland Road
Lot 7	Block 1	17925 Highland Road
Lot 8	Block 1	17909 Highland Road
Lot 1	Block 2	18222 Highland Road
Lot 2	Block 2	18204 Highland Road
Lot 3	Block 2	18118 Highland Road
Lot 4	Block 2	18016 Highland Road
Lot 5	Block 2	18002 Highland Road
Lot 6	Block 2	17920 Highland Road

SCALE: 1" = 100'

CURVE DATA			
NO.	Δ	R	L
1	88°31'46"	20.00'	30.90'
2	91°28'14"	20.00'	31.93'
3	48°11'20"	25.00'	21.03'
4	48°11'20"	25.00'	21.03'
5	276°22'40"	50.00'	241.18'



SW COR.
 FND. 1-1/2" IRON PIPE
 SET R.P.'S TACK
 AND TAG "LS18076"
 9" PINE, S45°E, 1.49'
 9" PINE, N25°E, 19.42'
 16" PINE, S15°E, 44.03'

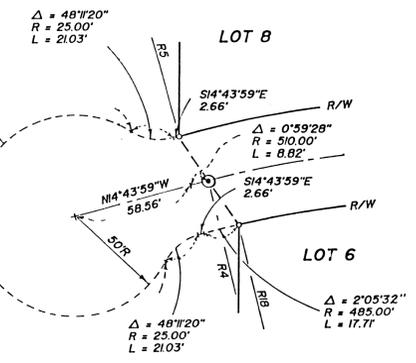
W 1/4
 FND. 1/2" IRON PIPE
 SET R.P.'S TACK & TAG "LS18076"
 POWER POLE, N75°W, 118.51'
 POWER POLE, SOUTH, 27.62'
 POWER POLE, N70°E, 48.20'

SCOTT'S ADDITION
 Lot 3, Block 1
 TRACT "A"

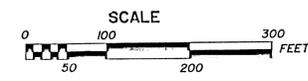
S.P. 85-392
 Block 6, Page #2
 TRACT "B"

S 1/4
 FND. 3/4" IRON PIPE
 FND. R.P.'S TACK AND TAG "LS18100"
 16" PINE, S61°E, 34.09'
 15" PINE, S55°W, 17.30'
 20" PINE, N22°E, 55.60'

TEMP. TURN-AROUND
 EASEMENT PER AUDITORS
 DOC. NO. 4066333



TURN-AROUND DETAIL
 SCALE: 1" = 40'



- LEGEND**
- INDICATES SET 1/2" REBAR W/ CAP "LS18076"
 - INDICATES MONUMENTS FOUND AS NOTED
 - STREET MONUMENT
 - DRAINAGE EASEMENT
 - UTILITY & DRAINAGE EASEMENT
 - BUILDING SETBACK
 - PLAT BOUNDARY

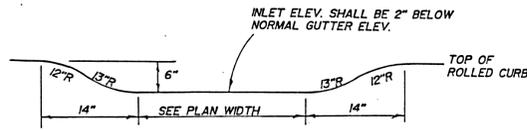
BASIS OF BEARINGS
 N01°22'12"W - WESTERLY LINE OF RANCHETTES NORTH
 PER BOOK 13 OF LONG PLATS AT PAGE 73
 SPOKANE COUNTY RECORDS



FND. 1/2" IRON PIPE
 FND. R.P.'S TACK & TAG "LS10018"
 POWER POLE, N70°E, 51.95'
 FND. TACK & TAG "LS12904"
 POWER POLE, S54°W, 47.58'
 SET R.P. TACK & TAG "LS18076"
 S-W FENCE COR., S20°W, 43.78'

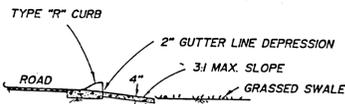
NOTE:
 Original legal description reads the East 495.00 feet of the West 1187.64 feet.
 The Plat of Ranchettes North, (Plat Book 13, Page 73) encroaches by monumentation and occupation by 0.28 feet at the SW corner and 0.91 feet on the NW corner. The occupation has been in existence for 20 years. The East line was established giving weight to occupation and monumentation.
 The Plat of Hilltop Addition (Book 6, Page 68) by monumentation and occupation is 0.54 feet West at the SW corners and 0.69 feet West at the NW corner. The West line of this Plat was established by weight to the 30 year old occupation and monumentation.

J. PAUL RAMER & ASSOCIATES, INC.
 CIVIL ENGINEERS AND LAND SURVEYORS
 N. 10115 NEWPORT HWY, SPOKANE, WA 99208 (509) 467-5251

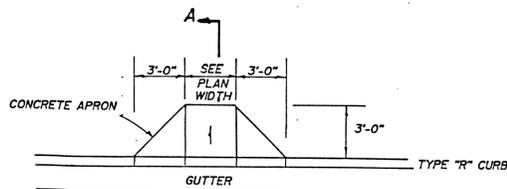


CURB DROP

N.T.S.

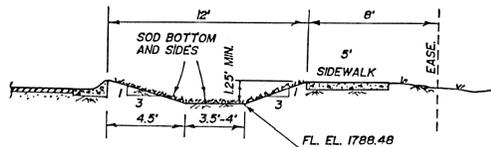


SECTION A-A



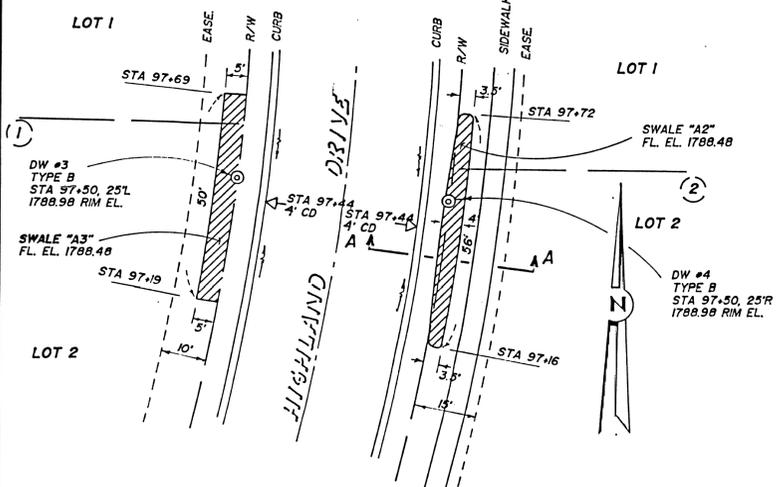
CURB DROP APRON

SCALE: 1" = 5'-0"



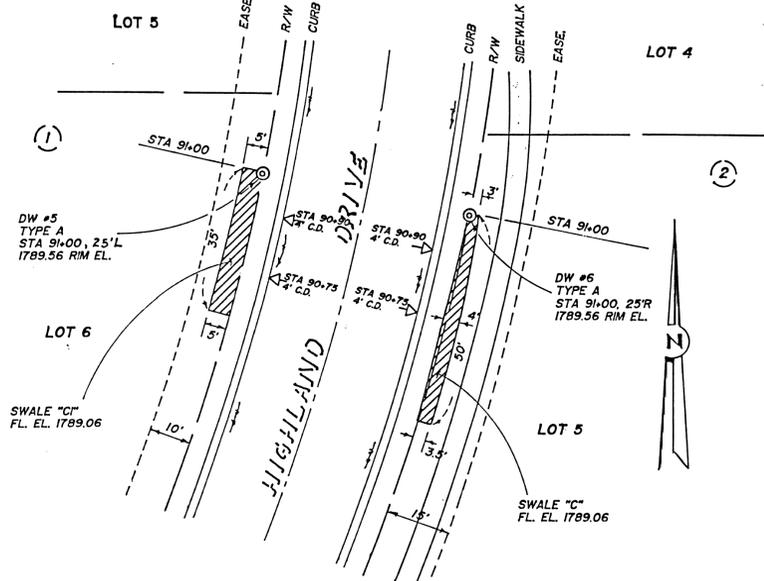
SECTION A-A

SCALE: 1" = 5'-0"



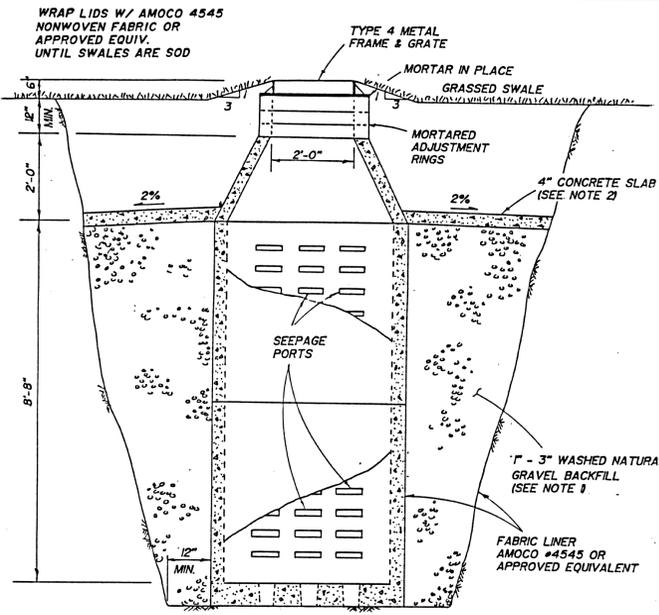
SWALE "A2" & "A3" DETAIL

SCALE: 1" = 20'



SWALE "C" & "C1" DETAIL

SCALE: 1" = 20'



GENERAL NOTES:

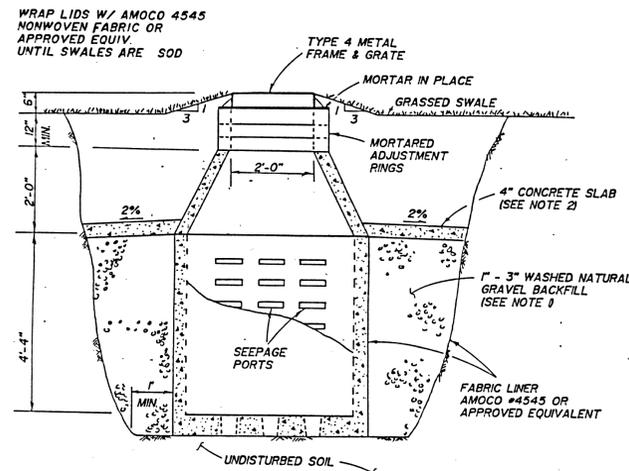
1. GRAVEL BACKFILL QUANTITY FOR DRYWELL TYPE "B" - 40 CUBIC YARDS MINIMUM / 56 TONS
2. CONCRETE SLAB SHALL BE CLASS 3000 CONCRETE.
3. ADJUSTMENT BLOCKS SHALL BE CEMENT CONCRETE.
4. PRECAST RISER MAY BE USED IN COMBINATION WITH OR IN LIEU OF ADJUSTING BLOCKS.

DRYWELL - TYPE "B"

SCALE: 1" = 2'-0"

David Hanes
DEVELOPER

DATE: 2-13-97

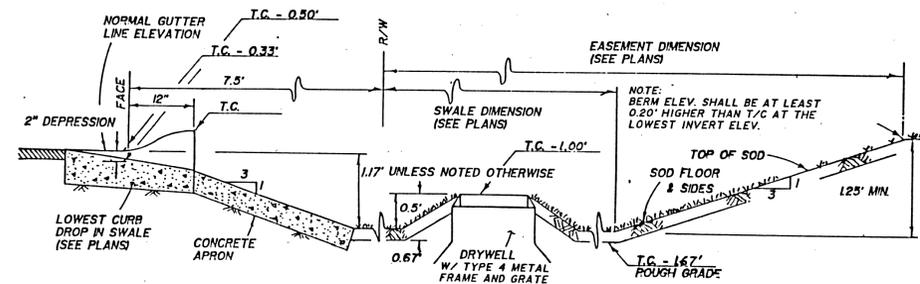


GENERAL NOTES:

1. GRAVEL BACKFILL QUANTITY FOR DRYWELL TYPE "A" - 30 CUBIC YARDS MINIMUM / 42 TONS
2. CONCRETE SLAB SHALL BE CLASS 3000 CONCRETE.
3. ADJUSTMENT BLOCKS SHALL BE CEMENT CONCRETE.
4. PRECAST RISER MAY BE USED IN COMBINATION WITH OR IN LIEU OF ADJUSTING BLOCKS.

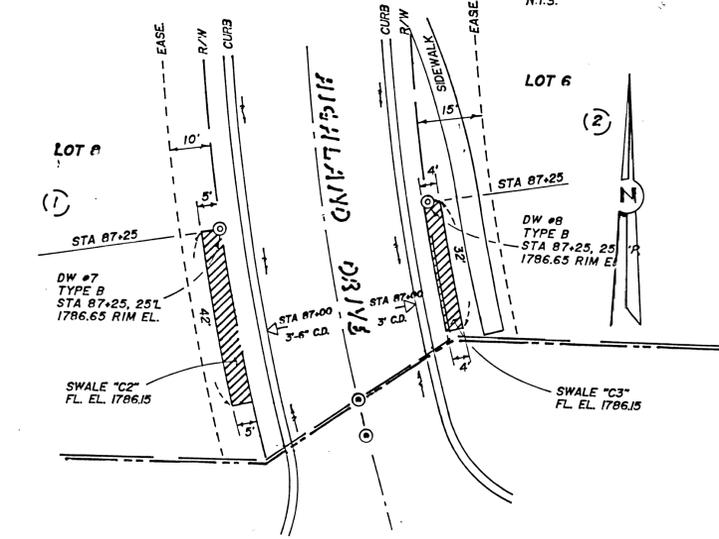
DRYWELL - TYPE "A"

SCALE: 1" = 2'-0"



TYPICAL "208" SWALE ALONG ACCESS STREET WITH DRYWELL

N.T.S.



SWALE "C2" & "C3" DETAIL

SCALE: 1" = 20'

SPokane County
OFFICIAL PUBLIC DOCUMENT
ORIGINAL
DATE ADDED: 3-31-1997
ACCEPTANCE NUMBER: 3-31-2000
CONSTRUCTION DOCUMENTS AND CERTIFICATES
RECORD DRAWINGS ARE REQUIRED PRIOR TO COUNTY
ACCEPTANCE AND ESTABLISHMENT OF THE ROAD AND
DRAINAGE FACILITIES FOR MAINTENANCE.



REVISIONS		DETAILS	
Date	JAN 13, 1997	SCALE	Horizontal _____ Vertical _____
Drawn	SMH	J. PAUL RAMER & ASSOC., INC. CIVIL ENGINEERS & LAND SURVEYORS N. 10115 NEWPORT HWY. PH. 467-5261 SPOKANE, WASHINGTON 99208	
Checked		Project No.	97028
Field Book		Sht.	4 of 4