

3410

KIMBERLY PARK FIRST ADDITION

PORTION OF SW1/4 OF SECTION 22, T27N, R43E, W.M.
SPOKANE COUNTY, WASHINGTON

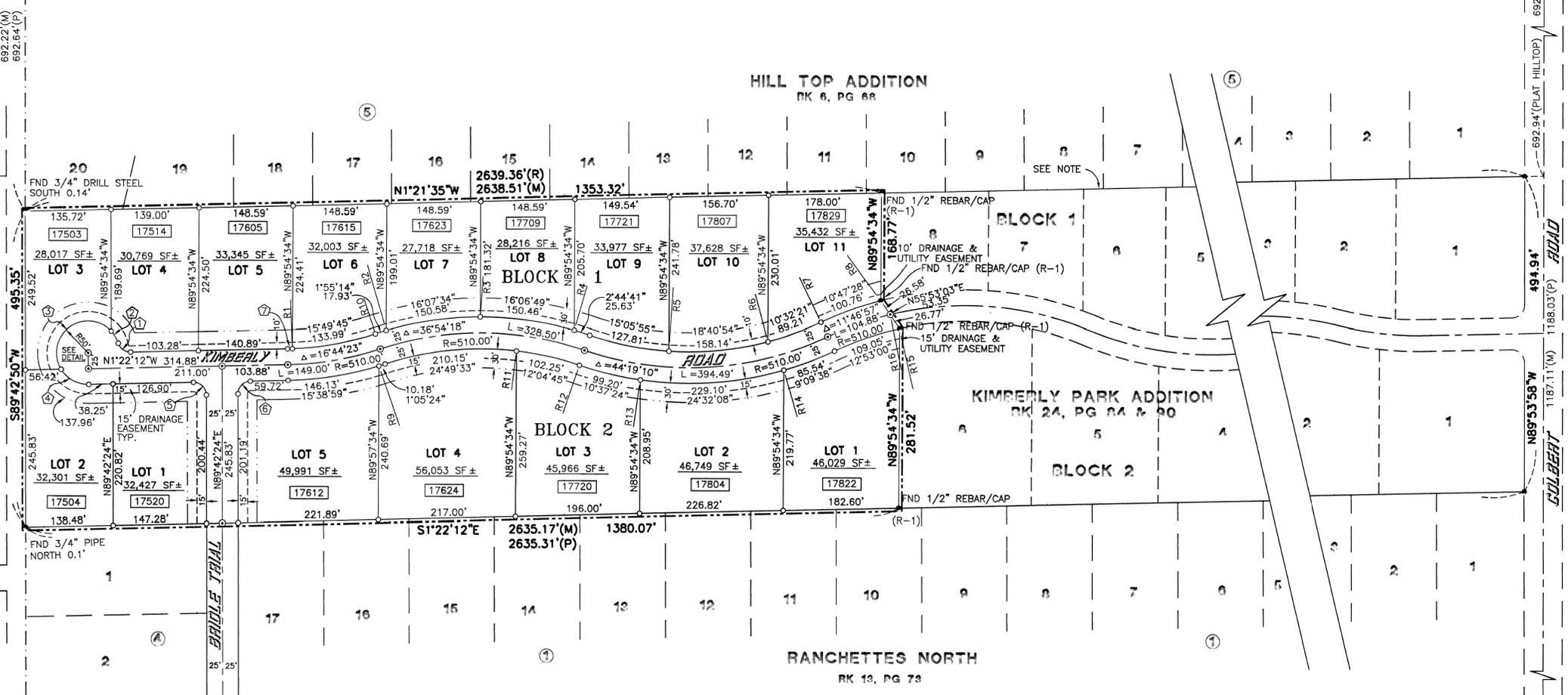
SHEET 1 OF 2

W 1/4
FND 1/2" IRON PIPE
SET RP'S TACK AND TAG 'LS 18076'
POWER POLE N75°W 118.51'
POWER POLE SOUTH 27.82'
POWER POLE N70°E 48.20'

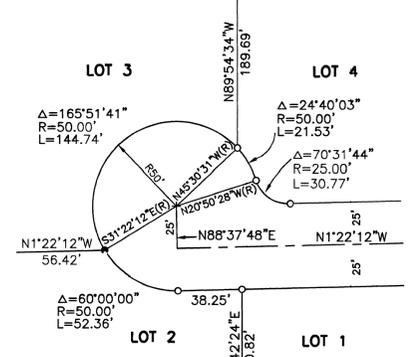
SW COR.
FND 1-1/2" IRON PIPE
SET RP'S TACK AND TAG
'LS 18076'
9" PINE S45°E 1.49'
9" PINE N25°E 19.42'
16" PINE S15°E 44.03'

SCOTT'S ADDITION
LOT 3, BLK 1
TRACT "A"

TRACT "B"
3P-35-392
BK 3, PG 12



S 1/4
FND 3/4" IRON PIPE
FND RP'S TACK AND TAG 'LS 18100'
16" PINE S61°E 34.09'
15" PINE S55°W 17.30'
20" PINE N22°E 55.60'



CURVE DATA			
Δ	R	L	
1 70°31'44"	25.00'	30.77'	
2 24°40'03"	50.00'	21.53'	
3 165°54'41"	50.00'	144.74'	
4 60°00'00"	50.00'	52.36'	
5 91°04'36"	20.00'	31.79'	
6 88°55'24"	20.00'	31.04'	
7 0°54'38"	485.00'	7.71'	

BEARING RADIAL TABLE	
RADIAL BEARING	
R1	S87°43'10"W
R2	N73°48'39"E
R3	N89°56'13"E
R4	N73°56'58"W
R5	N86°18'12"W
R6	S75°00'54"W
R7	S64°28'33"W
R8	S75°16'01"W
R9	N72°58'49"W
R10	S71°53'25"W
R11	S83°17'02"E
R12	S71°12'17"E
R13	S81°49'41"E
R14	S73°38'11"W
R15	S77°21'33"W
R16	N76°15'30"E

NOTE:
Original legal description reads the East 495.00 feet of the West 1157.64 feet.
The Plat of Ranchettes North, (Plat Book 13, Page 73) encroaches by monumentation and occupation by 0.28 feet at the SW corner and 0.91 feet on the NW corner. The occupation has been in existence for 20 years. The East line was established giving weight to occupation and monumentation.
The Plat of Hilltop Addition (Book 6, Page 68) by monumentation and occupation is 0.54 feet West of the SW corners and 0.69 feet West at the NW corner. The West line of this Plat was established by weight to the 30 year old occupation and monumentation.

EQUIPMENT & PROCEDURES
THE SURVEY PERFORMED HEREON WAS BY USE OF A 5 SECOND THEODOLITE, DISTANCE METER, SURVEY TAPE AND PLUMB BOBS. THE PROCEDURE WAS BY FIELD TRAVERSE. CLOSURE WAS WITHIN LEGAL LIMITS.

BASIS OF BEARINGS
N1°22'12"W ON WESTERLY LINE OF RANCHETTES NORTH PER BOOK 13 OF PLAT, PAGE 73.

- LEGEND**
- FOUND MONUMENTS AS NOTED
 - SET 3/8" REBAR W/ CAP MARKED 'LS 18076'
 - ⊙ SET R/R SPIKE
 - PLAT BOUNDARY
 - - - EASEMENT
 - SETBACK LINE
 - 17520 STREET ADDRESS
 - P = PLAT
 - R-1 = PLAT KIMBERLY PARK, BK 24 PG 89 & 90

CUL DE SAC DETAIL
SCALE 1"=50'



0 50' 100' 200'

AUDITORS CERTIFICATE
FILED FOR RECORD THIS 17th DAY OF NOVEMBER 1998 AT 3:02 P.M. IN BOOK 35 OF PLATS AT PAGE 3410 AT THE REQUEST OF J. PAUL RAMER & ASSOCIATES, INC.
Don Webb Auditor

SPOKANE COUNTY DIVISION OF BUILDING AND PLANNING
EXAMINED AND APPROVED THIS 17th DAY OF NOVEMBER 1998
John W. Peterson
SPOKANE COUNTY DIRECTOR OF BUILDING AND PLANNING

SPOKANE COUNTY DIVISION OF ENGINEERING AND ROADS
EXAMINED AND APPROVED THIS 9th DAY OF NOVEMBER 1998
W. C. Johnson
SPOKANE COUNTY ENGINEER

SPOKANE COUNTY DIVISION OF UTILITIES
EXAMINED AND APPROVED THIS 10th DAY OF NOVEMBER 1998
Paul Cook
SPOKANE COUNTY UTILITIES

SPOKANE REGIONAL HEALTH DISTRICT
EXAMINED AND APPROVED THIS 16th DAY OF NOVEMBER 1998
Steven P. Haddock, R.S.
SPOKANE REGIONAL HEALTH OFFICER

SPOKANE COUNTY TREASURER
I, Treasurer of Spokane County, Washington, do hereby certify that all taxes which have been levied and become chargeable against the land shown within this map and described in the dedication of this date, have been fully paid, satisfied, and discharged.
Dated this 17th day of Nov 1998
Alinda M. Walston
SPOKANE COUNTY TREASURER

SPOKANE COUNTY ASSESSOR
EXAMINED AND APPROVED THIS 16th DAY OF NOVEMBER 1998
S.C. Corey Lynne House
SPOKANE COUNTY ASSESSOR

SPOKANE COUNTY COMMISSIONERS
EXAMINED AND APPROVED THIS 17th DAY OF NOVEMBER 1998
Alison
SPOKANE COUNTY COMMISSIONERS CHAIRPERSON

SURVEYORS CERTIFICATE
This map correctly represents a survey made by me or under my direction in conformance with the requirements of the Spokane County Planning Ordinance.
Lawrence E. Benson
LAWRENCE E. BENSON, P.L.S.
Certificate #18076



SPOKANE COUNTY
LONG PLAT PN 1713-93
PORTION OF SW1/4 OF SECTION 22, T27N, R43E, W.M.
SPOKANE COUNTY, WASHINGTON

J PAUL RAMER & ASSOCIATES, INC.
CIVIL ENGINEERS AND LAND SURVEYORS
N 10115 NEWPORT HWY., SPOKANE, WASHINGTON 99218 (509) 467-5261

Date: 4/28/98
Scale: 1"=100'
Drawn by: WLH
Checked by: LEB
Field Book:

RON HOWES
5121 W RIDGE CREST DR.
SPOKANE, WA 99208

PROJECT NO. 97269
SHT 1 OF 2

1713A

KIMBERLY PARK FIRST ADDITION

PORTION OF SW1/4 OF SECTION 22, T27N, R43E, W.M.

SPOKANE COUNTY, WASHINGTON

SHEET 2 OF 2

#3410

4294616 13K25
Pg 70

AUDITORS CERTIFICATE
 FILED FOR RECORD THIS 17th DAY OF
NOVEMBER, 1998 AT 3:02 P.M. IN
 BOOK 25 OF PLATS AT PAGE 69-70
 AT THE REQUEST OF Howes Quality Development
 J. PAUL RAMER & ASSOCIATES, INC. ca.
Lee W. B. / Auditor

DEDICATION

BE IT KNOWN BY THESE PRESENTS that HOWES QUALITY DEVELOPMENT COMPANY, INC., a Washington Corporation, and STERLING SAVINGS BANK, have caused to be platted into lots, blocks and streets the lands shown hereon to be known as KIMBERLY PARK FIRST ADDITION, and being legally described as follows:

The East 495.00 feet of the West 1187.64 feet of the Southwest quarter of Section 22, Township 27 North, Range 43 East, W.M., in Spokane County, Washington, EXCEPT any portion lying within KIMBERLY PARK.

1. Side yard and rear yard setbacks shall be determined at the time building permits are requested, unless these setbacks are specifically drafted on this Final Plat. The setbacks indicated on this plat may be varied from, if proper zoning approvals are obtained.
2. The public water system, pursuant to the Water Plan as approved by County and State health authorities, the local fire protection district, Spokane County Division of Building and Planning, and water purveyor, shall be installed within this plat, and the applicant shall provide for individual domestic water service as well as fire protection to each lot prior to sale of each lot and prior to issuance of a building permit for each lot.

Use of private wells and water systems is prohibited.
3. Utility easements shown on the herein described plat are hereby dedicated to the serving utility companies for construction, reconstruction, maintenance and operation of utilities, together with the right to inspect said utilities and to trim and/or remove brush and trees that may interfere with the construction, maintenance and operation of same.
4. That in consideration of Mutual Benefits now or to be hereafter derived, do for themselves, their heirs, grantees, assigns and successor(s) in interest hereby request and authorize Spokane County to include the above described property in a Road Improvement District (RID) and to support the formation of an RID for improvement of the road(s) described below by requesting and authorizing Spokane County to place their name(s) on a petition for the formation of an RID pursuant to RCW 36.88.050, or by requesting and authorizing Spokane County to cast their ballot in favor of an RID being formed under the resolution method pursuant to RCW 36.88.030, and/or by not filing a protest against the formation of an RID being formed under the alternative resolution method provided for in RCW 36.88.065 and Chapter 35.43 RCW.

If an RID is proposed for improvement of the road(s) described below, said owner(s) and successor(s) further agree:

- (1) that the improvement(s) or construction contemplated within the proposed RID are feasible;
- (2) that the benefits to be derived from the formation of the RID by the property included therein, together with the amount of any County participation, exceed the cost and expense of formation of the RID, and
- (3) that the property within the proposed RID is sufficiently developed; provided, themselves, their heirs, grantees, assigns and successor(s) shall retain the right, as authorized under RCW 36.88.090, to object to any assessment(s) on the property as a result of the improvements called for in conjunction with the formation of an RID by either the petition or resolution method under Chapter 36.88 RCW and to appeal to the Superior Court the decision of the Board of County Commissioners confirming the final assessment roll; provided further, it is recognized that actual assessments may vary from assessment estimate so long as they do not exceed a figure equal to the increased true and fair value improvements(s) add(s) to the property.

It is further acknowledged and agreed that at such time as an RID is created or any County Road Improvement Project is authorized by Spokane County, the improvements required shall be at the sole expense of the owner(s) of property within the RID or served by the improvements without any monetary participation by Spokane County.

The RID waiver contained in this agreement shall expire after ten (10) years from the date of execution below. This provision is applicable to the curb and sidewalk section of Colbert Road.

5. The Platlor hereby dedicates forever the street rights-of-way shown hereon for public road purposes.
6. Subject to specific application approval and issuance of permits by the Health Officer, the use of individual on-site sewage systems may be authorized. The use of alternative methods of sewage disposal may be required.

Each new dwelling unit shall be double-plumbed for connection to future area wide collection systems.
7. Drainage easements as platted and shown hereon, which are for the purpose of installing, operating, and maintaining drainage swales and drainage facilities as condition of plat approval are hereby granted to Spokane County and the public. Spokane County and its authorized agents are hereby granted the right of ingress and egress to, over, and from said easements.
8. The property owners within this Plat shall be held responsible for keeping open and maintaining the surface path of natural or man-made drainage flow over and across their respective properties. Spokane County does not accept the responsibility of maintaining the drainage course on private lots within drainage easements or floodplain areas, nor the responsibility for any damage, whatsoever, including but not limited to inverse condemnation to any properties due to deficient construction and/or maintenance of drainage courses on private property.
9. Any new building that is constructed on a lot in this Plat shall be set at such an elevation so as to provide positive drainage away from any drainage entry point to the building, (including but not limited to a window well, a window unprotected by a window well, or a doorway). Said positive drainage shall consist of a minimum slope of 3% away from the building for a distance of at least 10 feet from the building. The lots shall be graded so that either a) all runoff is routed away from the building, and conveyed over the lot to a natural drainage swale or approved drainage facility, or b) drainage intercepted on the lot is disposed of on the lot in an approved drainage facility. The approved drainage facility shall be constructed in accordance with the approved plans on file at the County Engineer's Office. Any revisions to the approved drainage plans must be approved by the County Engineer's Office prior to construction of said revisions.

The subdivider/sponsor will construct the associated drainage facilities in conformance with the approved plans on file in the County Engineer's Office.

10. The property owner or representative shall inform each succeeding purchaser of all drainage easements on the property and their responsibility for maintaining surface drainage paths and swales within said easements.
11. If the property owner fails to maintain the surface path of natural or man-made drainage flow, or the drainage swale, a notice of such failure may be given to the property owner by the County Engineer. If not corrected within the period indicated on said notice, Spokane County has the right to correct the maintenance failure, or have it corrected, at the expense of the property owner.
12. The property owners within this Plat shall maintain all water quality treatment swales, ("208 swales"), and drainage ditches situated on their respective properties, and any portion of a 208 swale situated in the public right-of-way adjacent to their respective properties, with a permanent ground cover as specified on the current approved plans on file at the County Engineer's Office. Spokane County does not accept the responsibility to inspect or maintain the drainage easements or drainage swales, nor does the County accept any liability for any failure by the lot owner(s) to properly maintain such areas.

IN WITNESS WHEREOF the aforementioned persons do hereby affix their signatures:

Carl J. Howes
 For: HOWES QUALITY DEVELOPMENT COMPANY, INC.

Secretary
 Title _____ Date 11/11/98

Ronald Jarvis
 For: STERLING SAVINGS BANK

VICE PRESIDENT
 Title _____ Date 11/9/98

State of Washington)
 County of Spokane)

MR Secretary I certify that I know or have satisfactory evidence that *Carl J. Howes* signed this instrument, on oath stated that he was authorized to execute the instrument and acknowledged it as the *President* of HOWES QUALITY DEVELOPMENT COMPANY, INC., to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.

Dated: November 9, 1998

Marian Rush
 Notary Public
 My appointment expires: May 15, 2000



State of Washington)
 County of Spokane)

I certify that I know or have satisfactory evidence that *Ronald Jarvis* signed this instrument, on oath stated that he was authorized to execute the instrument and acknowledged it as the *Vice President* of STERLING SAVINGS BANK, to be the free and voluntary act of such party for the uses and purposes mentioned in the instrument.

Dated: November 9, 1998

Dana Becker
 Notary Public
 My appointment expires: 4-15-2000



J PAUL RAMER & ASSOCIATES, INC.		
CIVIL ENGINEERS AND LAND SURVEYORS N 10115 NEWPORT HWY., SPOKANE, WASHINGTON 99208 (509) 467-5261		
Date <u>4/21/98</u>	RON HOWES	PROJECT NO. <u>97269</u>
Scale _____	W 5121 RIDGE CREST DR.	
Drawn by <u>WLH</u>	SPOKANE, WA 99208	SHT <u>2</u> OF <u>2</u>
Checked <u>LEB</u>		
Field Book _____		

1713'A'