

CENTRE COURT ADDITION AND 1ST ADDITION

SPOKANE COUNTY, WASHINGTON

SECTION 26, T. 25N, R. 43E., W.M.

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4	22ND AVENUE STA. 0+00 TO STA. 12+15.12
5	MORRILL COURT STA. 2H-22.50 TO STA. 23+03.02
6	DEARBORN STREET STA. 19+70.60 TO STA. 23+09.51
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15	TEMPORARY EROSION AND SEDIMENT CONTROL PLAN
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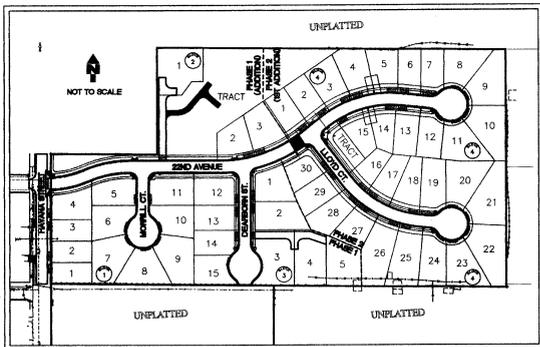
PHASING NOTE:

THE IMPROVEMENTS IN THIS PLAN SET WILL BE CONSTRUCTED IN TWO PHASES. PHASE ONE INCLUDES THE DETAILS OF THE IMPROVEMENTS ASSOCIATED WITH HAVANA STREET, MORRILL COURT, DEARBORN STREET AND 22ND AVE FROM STATION 0+00.00 TO STATION 7+62.00. TEMPORARY ACCESS ROADS SHALL BE CONSTRUCTED FOR DETAIL 52 SHEET 10. ADDITIONALLY, STORM PIPES 12", 18" AND ALL ASSOCIATED STRUCTURES AND ACCESS ROADS SHALL BE CONSTRUCTED IN PHASE ONE. ALL PIPING IN PHASE ONE SHALL BE STUBBED OUT A MINIMUM OF 10 FEET PAST THE PHASE LINE AND CAPPED FOR FUTURE CONNECTION.

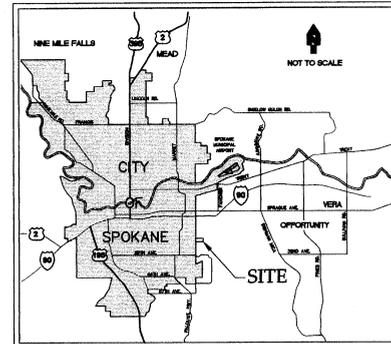
PHASE 2 INCLUDES LLOYD COURT AND THE PORTION OF 22ND AVENUE FROM 7+62.00 TO STATION 12+15.12. ADDITIONALLY, STORM PIPES 12", 18" AND ALL ASSOCIATED STRUCTURES AND ACCESS ROADS SHALL BE CONSTRUCTED IN PHASE TWO.

THE DESIGN IMPROVEMENTS SHOWN IN THIS SET OF PLANS AND CALCULATIONS CONFORM TO THE APPLICABLE EDITIONS OF THE SPOKANE COUNTY STANDARDS FOR ROAD AND SEWER CONSTRUCTION AND THE SPOKANE COUNTY GUIDELINES FOR STORM WATER MANAGEMENT. ALL DESIGN DEVIATIONS HAVE BEEN APPROVED BY THE SPOKANE COUNTY ENGINEER. I APPROVE THESE PLANS FOR CONSTRUCTION.

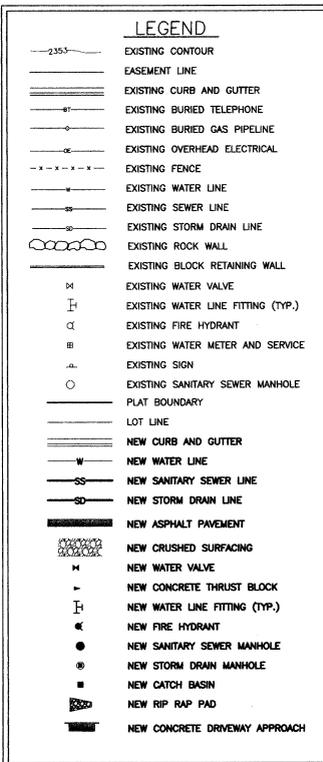
SPOKANE COUNTY PUBLIC WORKS
OFFICIAL PUBLIC DOCUMENT ORIGINAL
CONSTRUCTION PLANS
PROJECT # 2008-2008A
DATE ACCEPTED 04/16/08
ACCEPTANCE EXPRESS 04/16/08
PROJECT LANE MILES PUBLIC 0.24
PROJECT LANE MILES PRIVATE 0.00
CONSTRUCTION OCCURRING FROM 04/16/08 TO 04/16/08
SPOKANE COUNTY CONFIRMS AND ENDORSES THE QUALITY OF THE DESIGN AND ENGINEERING FOR PERFORMANCE.
PERMIT REQUIRED: 1208 47-2000
SEWER PERMIT REQUIRED: 1208 47-2000
PHONE 1-208-325-2200 FAX 1-208-325-2200



SITE PLAN



LOCATION PLAN



- GENERAL NOTES**
- ALL MATERIALS AND INSTALLATION SHALL BE IN CONFORMANCE WITH THE "SPOKANE COUNTY STANDARDS FOR ROAD AND SEWER CONSTRUCTION" 2007, AS AMENDED, AND PER THE "2008 STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION" AS PUBLISHED BY THE WASHINGTON STATE DEPARTMENT OF TRANSPORTATION (W.S.D.O.T.) AND BY THE AMERICAN PUBLIC WORKS ASSOCIATION (APWA).
 - LOCATIONS OF EXISTING UTILITIES SHOWN IN THE PLAN ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES. ANY CONFLICTING UTILITIES SHALL BE RELOCATED PRIOR TO CONSTRUCTION OF ROAD AND DRAINAGE FEATURES. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES FOR RELOCATION OF POWER POLES, LIGHTS, TELEPHONE, AND/OR OTHER UTILITIES THAT MAY CONFLICT WITH THE CONSTRUCTION.
 - THE CONTRACTOR IS REQUIRED TO HAVE A COMPLETE SET OF THE APPROVED ROAD AND DRAINAGE PLANS ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS. CONTRACTOR SHALL ALSO MAINTAIN THE SITE WITH A COMPLETE SET OF RED LINE RECORD DRAWINGS INDICATING ALL CHANGES FROM THE APPROVED DRAWINGS.
 - CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS PRIOR TO CONSTRUCTION. IF THE CONTRACTOR DISCOVERS ANY DISCREPANCIES BETWEEN THE PLANS AND EXISTING CONDITIONS ENCOUNTERED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN ENGINEER AND THE SPOKANE COUNTY ENGINEER'S OFFICE.
 - CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO ADJACENT EXISTING PROPERTIES OR IMPROVEMENTS. CONTRACTOR IS RESPONSIBLE FOR CLEAN-UP OF ANY AREAS DISTURBED BY HIS ACTIVITIES.
 - FOR ANY CURB GRADES LESS THAN 0.08% (0.008 FT/FT), A SURVEYOR SHALL VERIFY THAT THE CURB FORMS ARE AT THE GRADES NOTED ON THE APPROVED PLANS. PRIOR TO CONSTRUCTION OF CURB TYPERS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING AND COORDINATING WORK WITH THE PROFESSIONAL LAND SURVEYOR.
 - ALL PROPOSED ROADWAY AREAS SHALL BE STRIPPED TO A DEPTH OF AT LEAST 4" OF STRUCTURAL FILL OR NEAR-SURFACE ROOTS, ANY EXISTING FILL, AND TOPSOIL. THE STRIPPED MATERIALS CAN BE RE-USED FOR LANDSCAPING, BUT IS NOT ACCEPTABLE FOR STRUCTURAL FILL.
 - NATIVE MATERIALS, EXCLUDING TOPSOIL, IS ACCEPTABLE FOR USE AS STRUCTURAL FILL IF STRUCTURAL FILL IS IMPORTED IT SHALL CONSIST OF WELL-GRADED SAND AND GRAVEL WITH NO PARTICLES LARGER THAN FIVE INCHES IN DIAMETER AND NOT MORE THAN 10% FINE. THE 2000 SIZE STRUCTURAL FILL SHALL BE PLACED IN MAX 6 INCH LIFTS WITH 2% OF OPTIMUM MOISTURE, AND COMPACTED TO 92% OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR.
 - THE TOP 12 INCHES OF THE ROAD SUBGRADE SHALL BE MOISTURE CONDITIONED TO WITHIN 2% OF OPTIMUM AND COMPACTED TO 92% MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED PROCTOR METHOD.
 - CRUSHED SURFACING TOP COURSE SHALL CONFORM TO WSDOT STANDARDS AND COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY.
 - ASPHALT CONCRETE SHALL BE WSDOT CLASS A AND COMPACTED TO 92% OF THE THEORETICAL MAXIMUM DENSITY AS DETERMINED BY THE RICE METHOD.
 - DURING CONSTRUCTION, THE GROUND SURFACE SHOULD BE SLOPED TO PREVENT STORM RUNOFF FROM ACCUMULATING IN ANY OF THE SUBGRADE AREAS. ANY AREAS OF SORTED SUBGRADE SHOULD BE REMOVED AND REPLACED WITH COMPACTED STRUCTURAL FILL.
 - SITE EXCAVATION, INCLUDING ROCK CUTS AND REMOVAL, SHALL CONFORM TO SECTION 2-03 OF THE WSDOT STANDARD SPECIFICATIONS. EMBANKMENTS TO BE CONSTRUCTED ACCORDING TO THE APPLICABLE PARAGRAPHS OF SECTION 2-03 OF THE WSDOT STANDARD SPECIFICATIONS. EARTH EMBANKMENTS TO BE CONSTRUCTED USING METHOD B OF 2-03.1(1)(C).
 - ALL FILL IN AREAS OUTSIDE OF PAVEMENT SHALL BE COMPACTED IN MAXIMUM 6" LIFTS TO 92% OF MAXIMUM ASTM D 1557 DRY DENSITY. PAVEMENT SUBGRADE SHALL BE COMPACTED TO 92%.
 - FOR CONSTRUCTION OF DRYWELLS, INSTALL FILTER FABRIC (AMCOO 4545 OR APPROVED EQUIVALENT) BETWEEN THE WASHED DRAIN ROCK AND THE NATIVE SOIL.
 - PRIOR TO SITE CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR LOCATING UNDERGROUND UTILITIES. CALL UNDERGROUND UTILITY LOCATION SERVICE AS 456-8000 BEFORE YOU DIG.
 - THE CONTRACTOR SHALL EMPLOY A LICENSED SURVEYOR TO VERIFY THAT THE CROSS-CUTTED FORMS ARE AT THE CORRECT PLANE GRADE PRIOR TO CONCRETE PLACEMENT. THE CROSS-CUTTERS SHALL BE CONSTRUCTED PRIOR TO PAVING, AND THE PAVEMENT SHALL THEN MATCH THE EDGE OF CONCRETE CUTTER.
 - THE FLOOR OF A GRASSED PERCOLATION AREA (GPA) SWALE INCLUDES THE LEVEL, PORTION OF THE FLOOR OF THE SWALE AND THE SIDESLOPES OF THE SWALE UP TO THE OVERFLOW ELEVATION OR TOP OF DRYWELL. THE SOIL LOCATED IN THE FLOOR OF THE SWALE SHALL BE A MEDIUM TO MEDIUM-FINE DRAINING MATERIAL WITH A MINIMUM INFILTRATION RATE OF 10 INCHES PER HOUR. THE CONTRACTOR SHALL PROVIDE A WRITTEN STATEMENT WHICH VERIFIES THAT ALL GPA SWALES CONFORM TO THIS REQUIREMENT. THIS WRITTEN STATEMENT SHALL BE SUBMITTED TO THE SPOKANE COUNTY ENGINEER'S OFFICE PRIOR TO INSTALLING FINISHED LANDSCAPING/SOIL AND PRIOR TO FINAL ACCEPTANCE. THE SWALE FLOOR MATERIAL SHALL BE INSTALLED TO A NATIVE SOIL STRATUM WHICH ALSO MEETS OR EXCEEDS THIS MINIMUM PERCOLATION RATE OF 0.5 INCHES PER HOUR.
 - ON-SITE GRADING SHALL BE IN ACCORDANCE WITH THE APPROVED GRADING PLAN AND ESC PLAN. ANY IMPORT OR EXPORT OF MATERIAL SHALL BE FROM PRE-APPROVED SOURCE/DESTINATION AND PRIOR TO FINAL ACCEPTANCE BY THE SPOKANE COUNTY DEPARTMENT OF BUILDING AND PLANNING AT 477-3675. GRADING ON THIS SITE OR ANY OTHER SITE MUST COMPLY WITH SPOKANE COUNTY REGULATIONS INCLUDING, BUT NOT LIMITED TO, GRADING PERMITS, SEPA REVIEW, TIMBER HARVEST PERMITS, CRITICAL AREAS, FLOODPLAINS, DESIGNATED DRAINAGE WAYS, ETC.

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED AS ACCURATELY AS POSSIBLE FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. LANDSCAPING AND ENGINEERING SHALL BE CONDUCTED IN ACCORDANCE WITH THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, WE DO NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN EXACT LOCATION INDICATED. HOWEVER, WE DO CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

UNDERGROUND SERVICE ALERT
ONE-CALL NUMBER
456-8000
CALL 800 BUSINESS DAYS
NOTICE 100-000



CENTRE COURT ADD. + 1ST ADD.
ROAD AND DRAINAGE
COVER SHEET



SPOKANE COUNTY PUBLIC WORKS
DIVISION OF PUBLIC UTILITIES
1500 KAMAHA AVENUE, SUITE 100
SPOKANE, WA 99202
DATE: 04/16/08
DRAWN BY: DAVID M. GALT
CHECKED BY: DAVID M. GALT
DATE: 04/16/08
PROJECT: 2008-2008A
SHEET: 1 OF 16

DATE: 4-16-08

DESIGNER'S APPROVAL
DAVID M. GALT
PROJECT # 07-002
SHEET # 1 OF 16
CHECKED BY: D.M.G.
DATE: 04/16/08
COVER

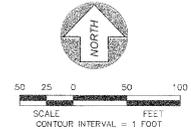
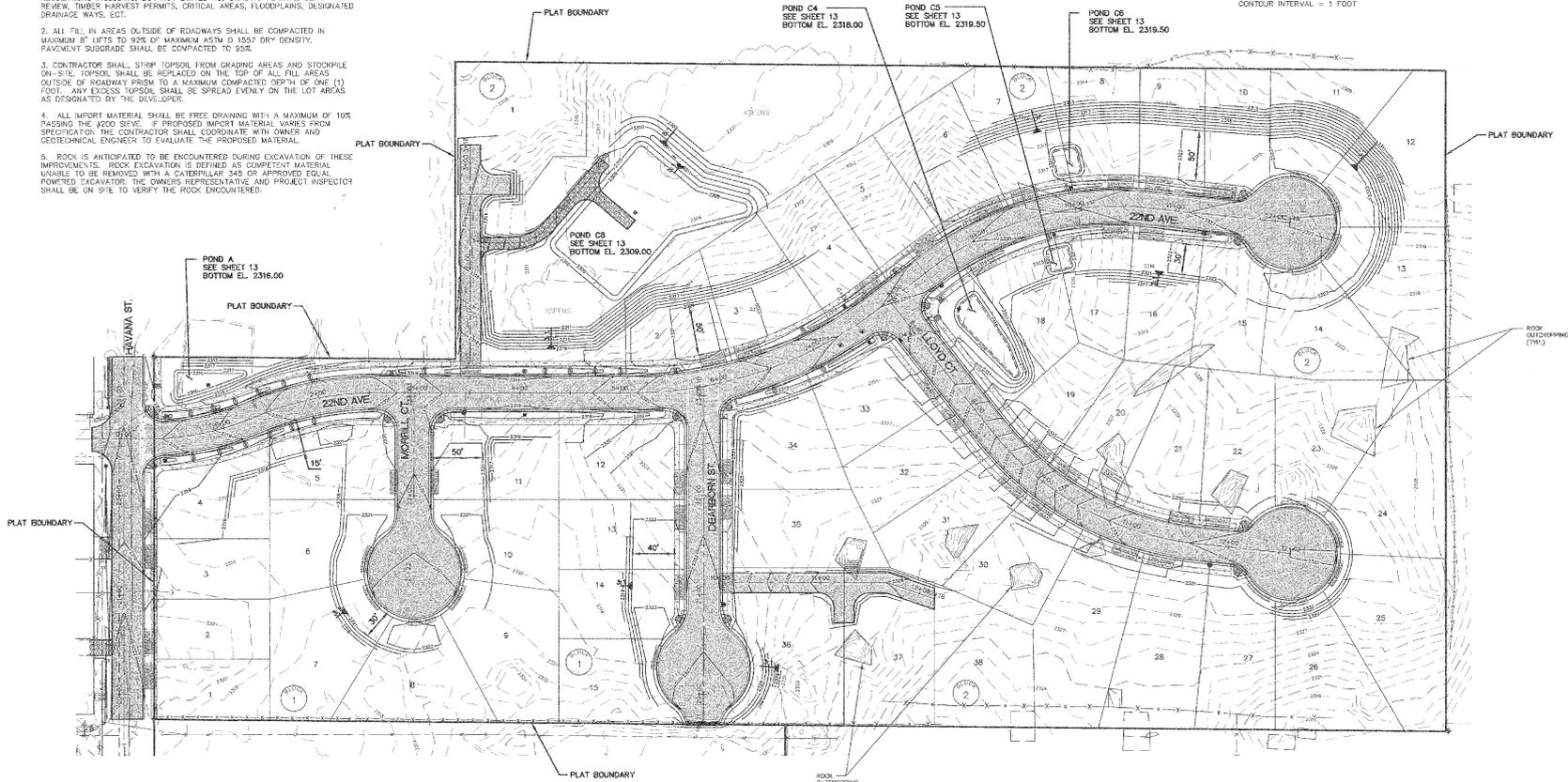
1 of 16

P 2008 + P2008A Revised Eric Leckman

**CENTRE COURT ADDITION
S. 26, T.25N, R.43E., W.M.**

GRADING NOTES

- ON-SITE GRADING SHALL BE IN ACCORDANCE WITH THE APPROVED GRADING PLAN AND ESC PLAN. ANY IMPORT OR EXPORT OF MATERIAL SHALL BE FROM PRE-APPROVED SOURCE, DESTINATION AND COORDINATED WITH THE SPOKING COUNTY DEPARTMENT OF BUILDING AND PLANNING AT 477-3675. GRADING ON THIS SITE OF ANY OTHER SITE MUST COMPLY WITH ALL DEVELOPMENT REGULATIONS INCLUDING, BUT NOT LIMITED TO, GRADING PERMITS, SEPA REVIEW, TIMBER HARVEST PERMITS, CRITICAL AREAS, FLOODPLAINS, DESIGNATED DRAINAGE WAYS, ECT.
- ALL FILL IN AREAS OUTSIDE OF ROADWAYS SHALL BE COMPACTED IN MAXIMUM 8" LIFTS TO SIZE OF MAXIMUM ASTM D 1557 DRY DENSITY. FINISHT SUBGRADE SHALL BE COMPACTED TO 95%.
- CONTRACTOR SHALL STRIP TOPSOIL FROM GRADING AREAS AND STOCKPILE ON-SITE. TOPSOIL SHALL BE REPLACED ON THE TOP OF ALL FILL AREAS OUTSIDE OF ROADWAY FROM TO A MAXIMUM COMPACTED DEPTH OF ONE (1) FOOT. ANY EXCESS TOPSOIL SHALL BE SPREAD EVENLY ON THE LOT AREAS AS DESIGNATED BY THE DEVELOPER.
- ALL IMPORT MATERIAL SHALL BE FREE DRAINING WITH A MAXIMUM OF 10% PASSING THE #200 SIEVE. IF PROPOSED IMPORT MATERIAL VARIES FROM SPECIFICATION, THE CONTRACTOR SHALL COORDINATE WITH OWNER AND GEOTECHNICAL ENGINEER TO EVALUATE THE PROPOSED MATERIAL.
- ROCK IS ANTICIPATED TO BE ENCOUNTERED DURING EXCAVATION OF THESE IMPROVEMENTS. ROCK EXCAVATION IS DEFINED AS COMPETENT MATERIAL UNABLE TO BE REMOVED WITH A CATERPILLAR 345 OR APPROVED EQUAL POWERED EXCAVATOR. THE OWNER'S REPRESENTATIVE AND PROJECT INSPECTOR SHALL BE ON SITE TO VERIFY THE ROCK ENCOUNTERED.



- T.B.M. #1 IRON PIPE SE PROP CORNER EL. 2316.25
- T.B.M. #2 FOUND REBAR W/ RAMER CAP AT NW CORNER OF PROPERTY. EL. 2316.88



**CENTRE COURT ADDITION
OVERALL GRADING PLAN**



SPOKING COUNTY PUBLIC WORKS DEPARTMENT
DIVISION OF ROADS & ENGINEERING
W. 1850 BRADWAY AVE.
BOCA RATON, FL 33431
PHONE: 477-5700

VERTICAL DATUM - NAVD 88
ELEVATIONS ARE IN FEET & INCHES UNLESS OTHERWISE NOTED.
SHEET DATE: 11/20/21

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED AS ACCURATELY AS POSSIBLE FROM FIELD SURVEY AND EXISTING DRAWINGS. LANDWORKS ENGINEERING, INC. MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, WE DO NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN EXACT LOCATION INDICATED, ALTHOUGH WE DO CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

UNDERGROUND SERVICE ALERT
ONE-CALL NUMBER
456-8000
CALL TWO BUSINESS DAYS BEFORE YOU DIG!

GRADING SHEET
2 OF 16

DATE: 11/20/21
SCALE: HORIZONTAL: AS SHOWN, VERTICAL: 1" = 4'
PROJECT: S. 26, T. 25N, R. 43E., W.M.
SHEET: 13 OF 16
PROJECT LANE MILES PUBLIC: 0.415
PROJECT LANE MILES PRIVATE: 0.000

CONSTRUCTION DOCUMENTATION AND LISTED RECORD DRAWINGS, MADE BY OR UNDER THE CLOSE PERSONAL SUPERVISION OF THE ENGINEER AT THE OFFICE OF LANDWORKS ENGINEERING, INC., AT THE TIME OF THE FIELD SURVEY AND DRAWING FACILITIES FOR MERCHANTABILITY, FITNESS FOR PURPOSE, AND ACCURACY SHALL BE LIMITED TO THE PROJECT AND DATE SHOWN HEREON. THESE DRAWINGS SHALL BE VOID WITHOUT THESE LIMITATIONS.

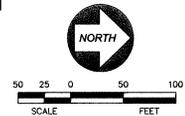
DATE: 11/20/21
SCALE: HORIZONTAL: AS SHOWN, VERTICAL: 1" = 4'
PROJECT: S. 26, T. 25N, R. 43E., W.M.
SHEET: 13 OF 16
PROJECT LANE MILES PUBLIC: 0.415
PROJECT LANE MILES PRIVATE: 0.000

CONSTRUCTION DOCUMENTATION AND LISTED RECORD DRAWINGS, MADE BY OR UNDER THE CLOSE PERSONAL SUPERVISION OF THE ENGINEER AT THE OFFICE OF LANDWORKS ENGINEERING, INC., AT THE TIME OF THE FIELD SURVEY AND DRAWING FACILITIES FOR MERCHANTABILITY, FITNESS FOR PURPOSE, AND ACCURACY SHALL BE LIMITED TO THE PROJECT AND DATE SHOWN HEREON. THESE DRAWINGS SHALL BE VOID WITHOUT THESE LIMITATIONS.

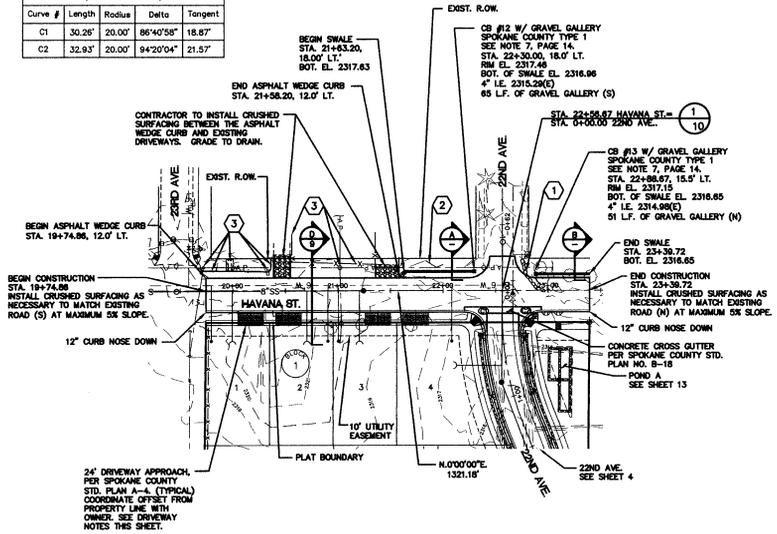
SPOKING COUNTY PUBLIC WORKS
OFFICIAL PUBLIC DOCUMENT ORIGINAL
CONSTRUCTION PLANS
PROJECT # 13-0001
DATE ACCEPTED 11/20/21
ACCEPTANCE NUMBER 17171
PROJECT LANE MILES PUBLIC 0.415
PROJECT LANE MILES PRIVATE 0.000

CONSTRUCTION DOCUMENTATION AND LISTED RECORD DRAWINGS, MADE BY OR UNDER THE CLOSE PERSONAL SUPERVISION OF THE ENGINEER AT THE OFFICE OF LANDWORKS ENGINEERING, INC., AT THE TIME OF THE FIELD SURVEY AND DRAWING FACILITIES FOR MERCHANTABILITY, FITNESS FOR PURPOSE, AND ACCURACY SHALL BE LIMITED TO THE PROJECT AND DATE SHOWN HEREON. THESE DRAWINGS SHALL BE VOID WITHOUT THESE LIMITATIONS.

CENTRE COURT ADDITION AND 1ST ADDITION
S. 26, T.25N, R.43E, W.M.



CURB RETURN DATA, FACE OF CURB (THIS SHEET ONLY)				
Curve #	Length	Radius	Delta	Tangent
C1	30.26'	20.00'	86°40'58"	18.67'
C2	32.93'	20.00'	84°20'04"	21.57'

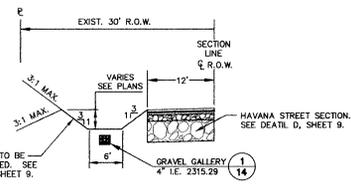


PHASING NOTE:
PHASE 1:
 THE IMPROVEMENTS IN THIS PLAN SET WILL BE CONSTRUCTED IN TWO PHASES. PHASE ONE INCLUDES THE EXTENTS OF THE IMPROVEMENTS ASSOCIATED WITH HAVANA STREET, NORTH COURT, DEARBORNE STREET AND 22ND AVE FROM STATION 0+00.00 TO STATION 7+28.75. A TEMPORARY ACCESS ROAD SHALL BE CONSTRUCTED PER DETAIL 5, SHEET 10. ADDITIONALLY, STORM PONDS #1, #2 AND ALL ASSOCIATED STRUCTURES AND ACCESS ROADS SHALL BE CONSTRUCTED IN PHASE ONE. ALL PIPING IN PHASE ONE SHALL BE STUMPED OUT A MINIMUM OF 10 FEET PAST THE PHASE LINE AND CAPPED FOR FUTURE CONNECTION.
PHASE 2:
 INCLUDES LOUVY COURT AND THE PORTION OF 22ND AVENUE FROM STATION 7+28.75 TO STATION 12+14.12. ADDITIONALLY, STORM POND #3, #4, #5, #6 AND ALL ASSOCIATED STRUCTURES AND ACCESS ROADS SHALL BE CONSTRUCTED IN PHASE TWO.

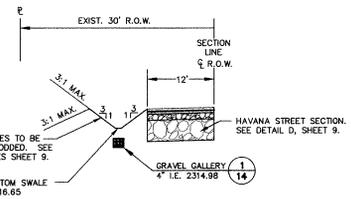
- DRIVEWAY CONSTRUCTION NOTES:**
- CONTRACTOR TO INSTALL DRIVEWAY APPROACH/WEIR PER DETAIL 2, SHEET 9 FOR THE FOLLOWING LOTS: LOTS 1-10 AND LOTS 16-18, BLOCK 2.
 - CONTRACTOR TO INSTALL DRIVEWAY APPROACH PER SPOKANE COUNTY STANDARD PLAN NO A-4 FOR THE FOLLOWING LOTS: LOTS 1-4 AND LOTS 12-14, BLOCK 1, LOTS 19-22 AND 29-36, BLOCK 2.
 - CONTRACTOR TO INSTALL CURB DROPS ONLY FOR THE FOLLOWING LOTS: LOTS 5-11 AND 15, BLOCK 1, LOTS 11-15 AND 23-27, BLOCK 2.
 - ALL DRIVEWAY APPROACHES SHALL HAVE A 24" BOTTOM WIDTH UNLESS OTHERWISE NOTED ON THE PLANS.

SPOKANE COUNTY PUBLIC WORKS
 OFFICIAL PUBLIC DOCUMENT ORIGINAL
CONSTRUCTION PLANS
 PROJECT # 2018-00000000
 DATE ACCEPTED: 12/14/18
 ACCEPTANCE EXP. DATE: 12/14/20
 PROJECT NAME: MILES PUBLIC UTILITIES
 PROJECT LANE MILES PUBLIC UTILITIES
 CONSTRUCTION DOCUMENTATION AND CERTIFIED RECORD DRAWINGS, AS BUILT AND AS REQUIRED FROM THE ROAD AND DRAINAGE FACILITIES FOR MAINTENANCE.
 PERMIT NUMBER: 1508-187-000
 NUTTY PINE ENGINEERING & SURVEYING
 1000 N. W. 10TH AVE., SUITE 200
 MIAMI, FL 33136
 PHONE: 305-251-2522

- CONSTRUCTION NOTES**
- CONTRACTOR TO REMOVE EXISTING ROCK LANDSCAPE WALL AND LANDSCAPING FROM HAVANA STREET RIGHT OF WAY. COORDINATE REMOVAL WITH PROPERTY OWNER AND SALVAGE AND/OR RELOCATE ROCKS AND TREES PER PROPERTY OWNER AND DEVELOPER REQUEST.
 - CONTRACTOR TO REMOVE EXISTING STACKED WOOD FENCE FROM HAVANA STREET RIGHT OF WAY. COORDINATE REMOVAL WITH PROPERTY OWNER AND RELOCATE FENCE TO OUTSIDE OF HAVANA STREET RIGHT OF WAY.
 - CONTRACTOR TO PROTECT IN PLACE ALL EXISTING STRUCTURES ALONG THE WEST SIDE OF HAVANA STREET EXCEPT THOSE CALLED OUT FOR RELOCATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING STRUCTURES.



ROADSIDE SWALE SECTION A
 STA. 21+58.20 TO STA. 22+30
 NOT TO SCALE



ROADSIDE SWALE SECTION B
 STA. 22+98.67 TO STA. 23+39.72
 NOT TO SCALE

UTILITY STATEMENT
 THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED AS ACCURATELY AS POSSIBLE FROM FIELD SURVEY AND EXISTING DRAWINGS. LANDWORKS ENGINEERING, INC. MAKES NO GUARANTEE OF THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, WE DO NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN EXACT LOCATION INDICATED, ALTHOUGH WE DO CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

	18+00	19+00	20+00	21+00	22+00	23+00	24+00
CENTERLINE							
TOP OF RIGHT CURB							

UNDERGROUND SERVICE ALERT
 456-8000
 CALL 800-4-A-SHIRT
 BEFORE YOU DIG

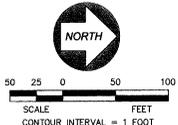
REVIEW AND APPROVAL BY THE PUBLIC WORKS DIVISION OF ROAD AND DRAINAGE DIVISION
 W. LOIS BRADSHAW, A.P.E.
 DIVISION OF ROAD AND DRAINAGE DIVISION
 PHONE # 305-251-2522

REVISIONS
 NO. DATE BY
 1 12/14/18 JRM
 2 12/14/18 JRM
 3 12/14/18 JRM
 4 12/14/18 JRM
 5 12/14/18 JRM

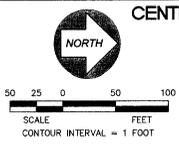
DATE: 12/14/18
 DEVELOPER'S APPROVAL: [Signature]
 PROJECT # 07-DY-02
 DRAWING BY: JRM
 CHECKED BY: GRG
ROAD SHEET
 3 OF 16

P-2003 + P-2003A
 Rural Engineering

Curve #	Length	Radius	Delta	Tangent
C3	31.42'	20.00'	90°00'00"	20.00'
C4	31.42'	20.00'	90°00'00"	20.00'
C17	27.52'	30.00'	52°33'59"	14.82'
C18	27.52'	30.00'	52°33'59"	14.82'

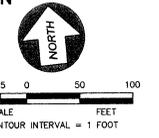


- DRIVEWAY CONSTRUCTION NOTES:**
- CONTRACTOR TO INSTALL DRIVEWAY APPROACH/W/PER DETAIL 2, SHEET 9 FOR THE FOLLOWING LOTS: LOTS 1-10 AND LOTS 16-18, BLOCK 2.
 - CONTRACTOR TO INSTALL DRIVEWAY APPROACH PER SPOKANE COUNTY STANDARD PLAN NO A-4 FOR THE FOLLOWING LOTS: LOTS 1-4 AND LOTS 12-14, BLOCK 1, LOTS 19-22 AND 29-36, BLOCK 2.
 - CONTRACTOR TO INSTALL CURB DROPS ONLY FOR THE FOLLOWING LOTS: LOTS 5-11 AND 15, BLOCK 1, LOTS 11-15 AND 23-27, BLOCK 2.
 - ALL DRIVEWAY APPROACHES SHALL HAVE A 24" WIDTH UNLESS OTHERWISE NOTED ON THE PLANS.

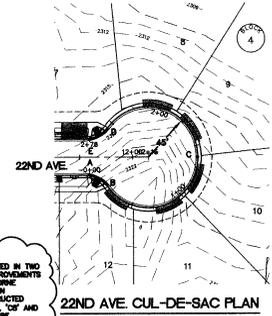
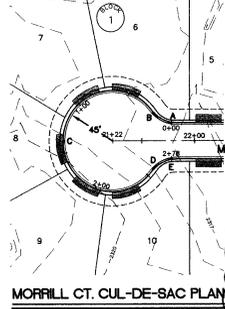
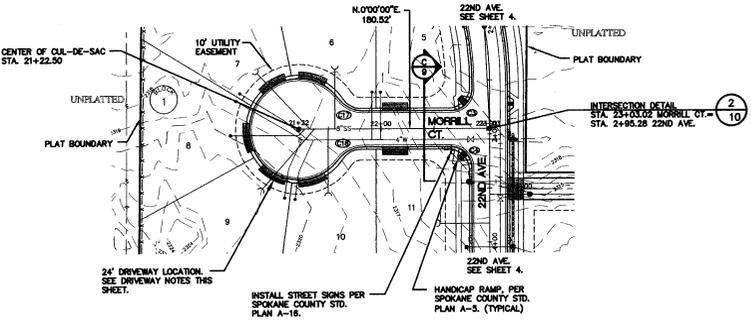


CENTRE COURT ADDITION AND 1ST ADDITION
S. 26, T.25N., R.43E., W.M.

SPOKANE COUNTY PUBLIC WORKS
OFFICIAL RECORD DRAWING ORIGINAL
CONSTRUCTION PLANS
PROJECT # **121824-12-202**
DATE ACCEPTED: **12-20-20**
ACCEPTANCE EXPRESS: **12/21/20**
PROJECT LANE MILES PUBLIC: **0.24**
CONSTRUCTION DOCUMENTATION AND DRAWINGS PREPARED BY: **LANDWORKS ENGINEERING, INC.**
PERMIT REQUIRED: **1508 477-9900**
WWW.PUBLICWORKS.SPOKANE.GOV



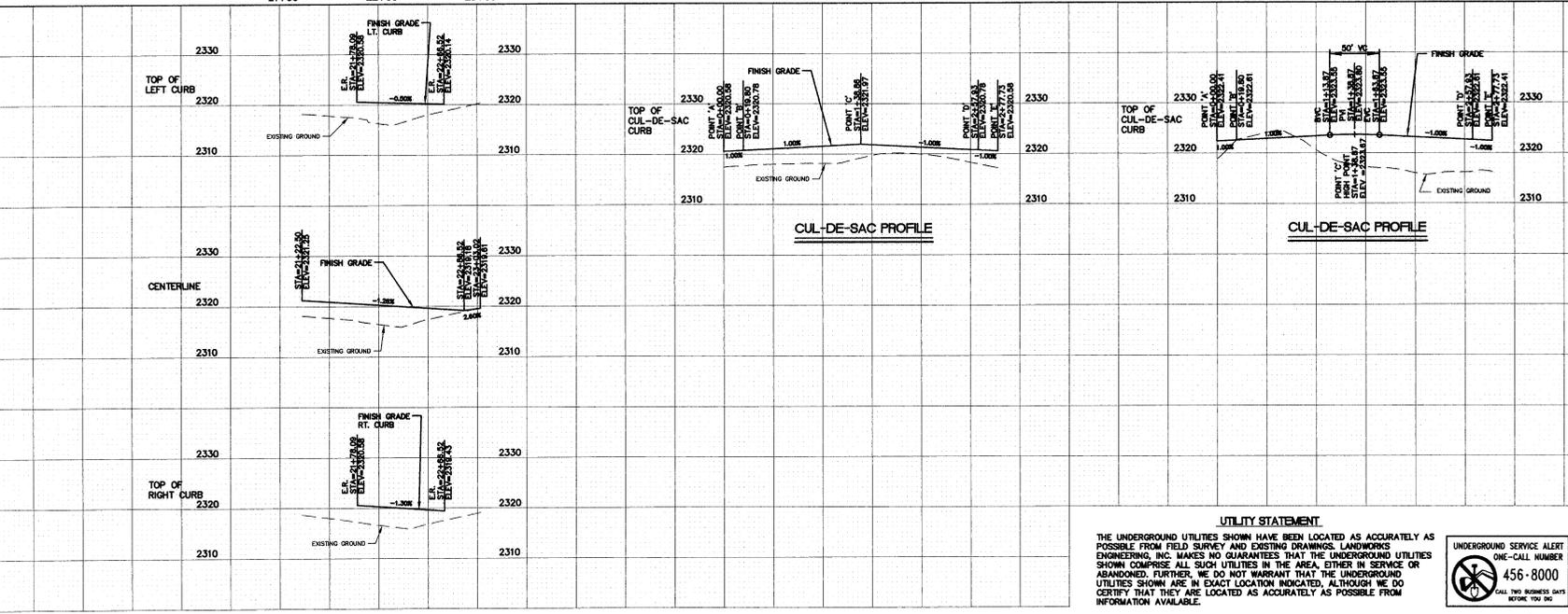
- T.B.M. #1** IRON PIPE SE PROP CORNER
EL. 2316.25
- T.B.M. #2** FOUND REBAR W/ RAMER CAP
AT NW CORNER OF PROPERTY.
EL. 2316.89



PHASING NOTE:

PHASE 1:
THE IMPROVEMENTS IN THIS PLAN SET WILL BE CONSTRUCTED IN TWO PHASES. PHASE ONE INCLUDES THE EXTENTS OF THE IMPROVEMENTS ASSOCIATED WITH MORRILL STREET, MORRILL COURT, DEARBORN STREET AND 22ND AVE FROM STATION 0+00.00 TO STATION 1+58.76. TEMPORARY ACCESS ROAD SHALL BE CONSTRUCTED PER DETAIL B, SHEET 10. ADDITIONALLY, STORM PONDS 'A', 'C' AND ALL ASSOCIATED STRUCTURES AND ACCESS ROADS SHALL BE CONSTRUCTED IN PHASE ONE. ALL PAVING IN PHASE ONE SHALL BE STUBBED OUT A MINIMUM OF 10 FEET PAST THE PHASE LINE AND CAPPED FOR FUTURE CONNECTION.

PHASE 2:
INCLUDES LLOYD COURT AND THE PORTION OF 22ND AVENUE FROM STATION 1+58.76 TO STA FROM 1+58.76 TO 2+00.00. ADDITIONALLY, STORM POND 'C', 'C', 'C' AND ALL ASSOCIATED STRUCTURES AND ACCESS ROADS SHALL BE CONSTRUCTED IN PHASE TWO.



UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED AS ACCURATELY AS POSSIBLE FROM FIELD SURVEY AND EXISTING DRAWINGS. LANDWORKS ENGINEERING, INC. MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, WE DO NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN EXACT LOCATION INDICATED, ALTHOUGH WE DO CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

UNDERGROUND SERVICE ALERT
ONE-CALL NUMBER
456-8000
CALL TWO BUSINESS DAYS BEFORE YOU DIG



CENTRE COURT ADD. + 1ST ADD.
MORRILL COURT
STA. 2+12:22.50 TO STA. 23+03.02



SPOKANE COUNTY PUBLIC WORKS
DIVISION OF ROADS & ENGINEERING
W. FARRIS BLVD. SUITE 100
SPokane, WA 99201
PH: 477-3000

VERTICAL DATUM - MVD #
SPOKANE COUNTY - WASHINGTON, 12-15-11

DATE: **12-20-20**

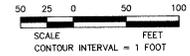
SCALE: **HOR: N/A VERT: N/A**

PROJECT # **07-002**
CHECKED BY: **GRD**

ROAD SHEET
5 OF 16

DEVELOPER'S APPROVAL: *David M. Smith*

CENTRE COURT ADDITION AND 1ST ADDITION
S. 26, T.25N., R.43E., W.M.

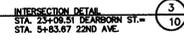
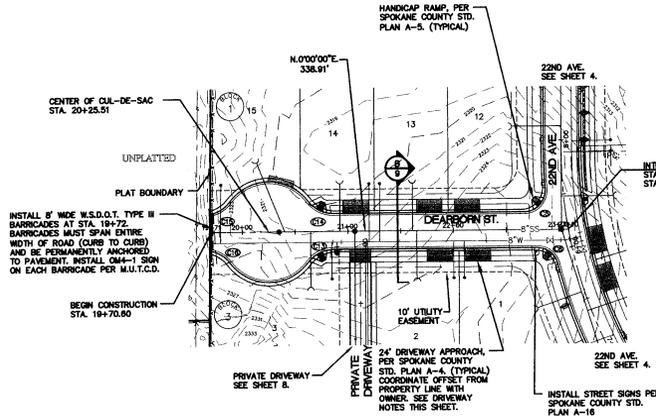


T.B.M. #1 IRON PIPE SE PROP CORNER AT NW CORNER OF PROPERTY. E. 2316.25

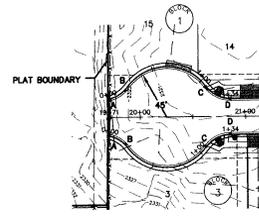
T.B.M. #2 FOUND REBAR W/ RAMER CAP AT NW CORNER OF PROPERTY. E. 2316.88

DRIVEWAY CONSTRUCTION NOTES:

- CONTRACTOR TO INSTALL DRIVEWAY APPROACH/WIER PER DETAIL 2, SHEET 9 FOR THE FOLLOWING LOTS: LOTS 1-10 AND LOTS 16-18, BLOCK 2.
- CONTRACTOR TO INSTALL DRIVEWAY APPROACH PER SPOKANE COUNTY STANDARD PLAN NO A-4 FOR THE FOLLOWING LOTS: LOTS 1-4 AND LOTS 12-14, BLOCK 1, LOTS 19-22 AND 28-36, BLOCK 2.
- CONTRACTOR TO INSTALL CURB DROPS ONLY FOR THE FOLLOWING LOTS: LOTS 5-11 AND 15, BLOCK 1, LOTS 11-15 AND 23-27, BLOCK 2.
- ALL DRIVEWAY APPROACHES SHALL HAVE A 24' BOTTOM WIDTH UNLESS OTHERWISE NOTED ON THE PLANS.



CURB RETURN DATA, FACE OF CURB (THIS SHEET ONLY)				
Curve #	Length	Radius	Delta	Tangent
C5	33.03'	20.00'	94°37'43"	21.68'
C6	26.40'	20.00'	75°38'41"	15.53'
C13	27.52'	30.00'	52°33'59"	14.82'
C14	27.52'	30.00'	52°33'59"	14.82'
C15	21.51'	30.00'	41°04'54"	11.24'
C16	21.51'	30.00'	41°04'54"	11.24'



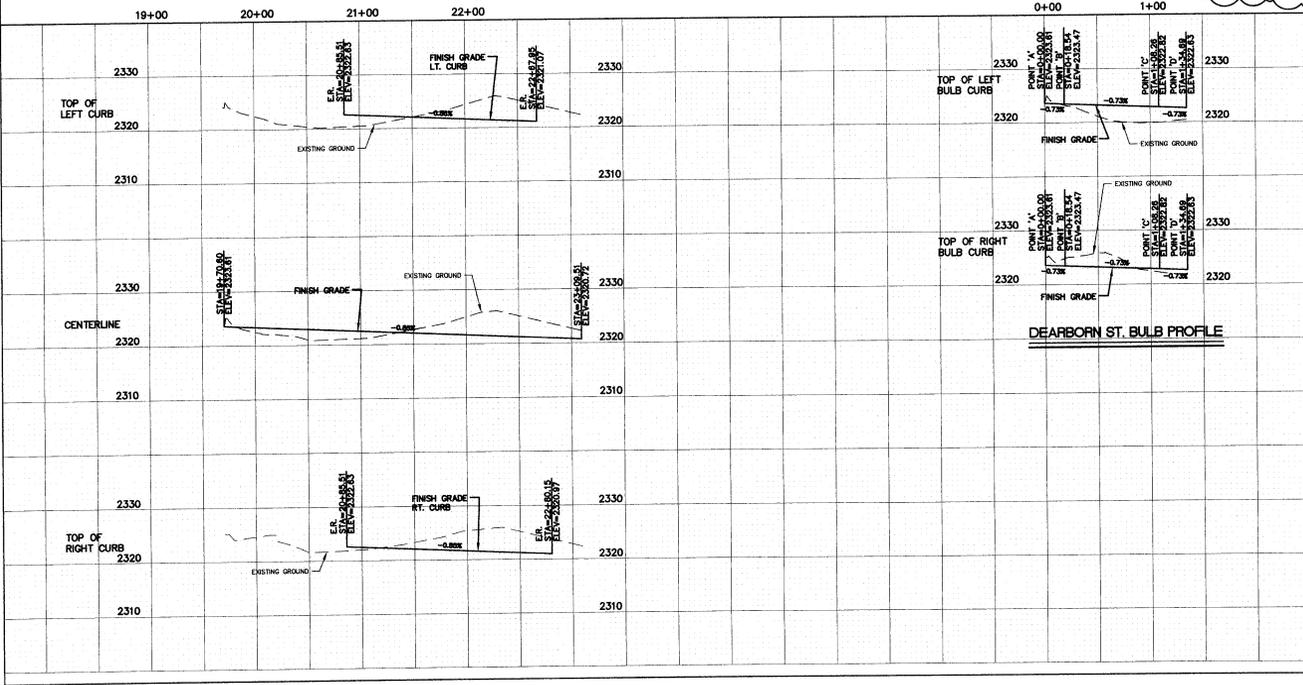
PHASING NOTE:

PHASE 1:
THE IMPROVEMENTS IN THIS PLAN SET WILL BE CONSTRUCTED IN TWO PHASES. PHASE ONE INCLUDES THE EXTENTS OF THE IMPROVEMENTS ASSOCIATED WITH MANAWA STREET, WOODL COUNTY, DEARBORN STREET AND 22ND AVE FROM STATION 0+00.00 TO STATION 7+28.75. A TEMPORARY ACCESS ROAD SHALL BE CONSTRUCTED PER DETAIL 5, SHEET 10. ADDITIONALLY, STORM POND 'A', 'C' AND ALL ASSOCIATED STRUCTURES AND ACCESS ROADS SHALL BE CONSTRUCTED IN PHASE ONE. ALL PIPING IN PHASE ONE SHALL BE STUBBED OUT A MINIMUM OF 10 FEET PAST THE PHASE LINE AND CAPPED FOR FUTURE CONNECTION.

PHASE 2:
INCLUDES LLOYD COURT AND THE PORTION OF 22ND AVENUE FROM STATION 7+28.75 TO STATION 15+15.12. ADDITIONALLY, STORM POND 'A', 'C', 'D' AND ALL ASSOCIATED STRUCTURES AND ACCESS ROADS SHALL BE CONSTRUCTED IN PHASE TWO.

SPOKANE COUNTY PUBLIC WORKS
OFFICIAL PUBLIC DOCUMENT ORIGINAL
CONSTRUCTION PLANS
PROJECT # **12-20-203A**
DATE ACCEPTED: **4/17/10**
ACCEPTANCE ENGINEER: **[Signature]**
PROJECT LANE MILES PUBLIC: **0.24**
CONSTRUCTION DOCUMENTATION AND CONTROL RECORDS MAINTAINED BY: **LANDWORKS ENGINEERING, INC.**
CONTRACTOR SHALL BE RESPONSIBLE FOR THE ROAD AND OVERPASS FACILITIES FOR MAINTENANCE.
PRINTED AND PUBLISHED BY: **LANDWORKS ENGINEERING, INC.**
1007 PINE STREET, SUITE 100
SPokane, WA 99201-2001

UNDERGROUND SERVICE ALERT
ONE-CALL NUMBER
456-8000
CALL TWO BUSINESS DAYS BEFORE YOU DIG



DEARBORN ST. BULB PROFILE



CENTRE COURT ADD. + 1ST ADD.
DEARBORN STREET
STA. 19+70.60 TO STA. 23+09.51



SPOKANE COUNTY PUBLIC WORKS
DIVISION OF ROADS & ENGINEERING
W. SPOKANE, WA 99201
PHONE # 477-3000

VERTICAL DATUM - MVD #1
SPOKANE COUNTY, WASHINGTON, U.S.A.

DATE: **4-9-2010**
DEVELOPER'S APPROVAL: **[Signature]**

UTILITY STATEMENT
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED AS ACCURATELY AS POSSIBLE FROM FIELD SURVEY AND EXISTING DRAWINGS. LANDWORKS ENGINEERING, INC. MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, WE DO NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN EXACT LOCATION INDICATED, ALTHOUGH WE DO CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

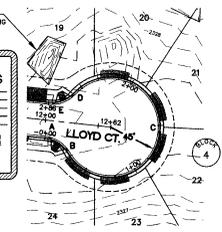
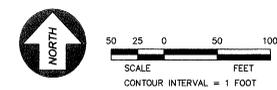
SCALE: **H=V N/A**
PROJECT # **07-022**
DESIGNED BY: **DRG**
CHECKED BY: **DRG**
ROAD SHEET
6 OF 16

CENTRE COURT ADDITION AND 1ST ADDITION
S. 26, T.25N., R.43E., W.M.



TBM
 T.B.M. #1 IRON PIPE SE PROP CORNER E 2316.25
 T.B.M. #2 FOUND REBAR W/ RAMER CAP AT NW CORNER OF PROPERTY. E 2316.88

CURB RETURN DATA, FACE OF CURB (THIS SHEET ONLY)				
Curve #	Length	Radius	Delta	Tangent
C7	30.42'	20.00'	87°09'11"	19.03'
CB	31.42'	20.00'	90°00'00"	20.00'
C12	27.52'	30.00'	52°33'58"	14.82'

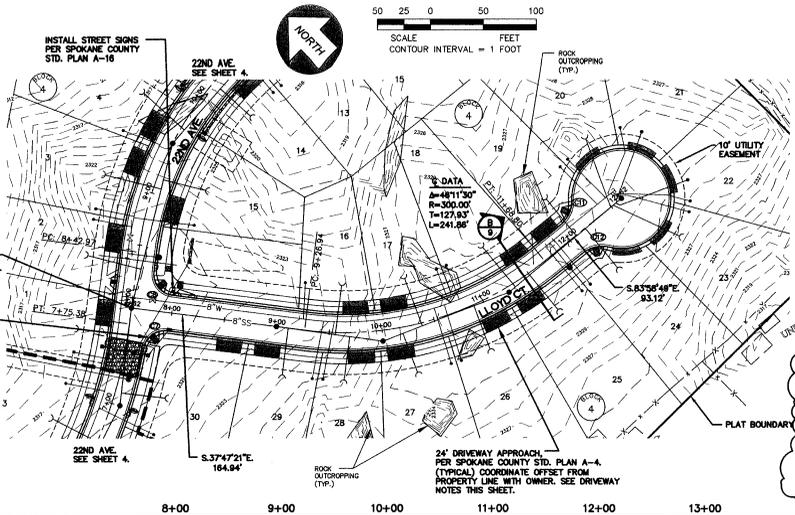


LLOYD CT. CUL-DE-SAC PLAN

SPOKANE COUNTY PUBLIC WORKS OFFICIAL PLAN SHEET ORIGINAL CONSTRUCTION PLANS
 PROJECT # 220220-2
 DATE ACCEPTED: 12/10/10
 ACCEPTANCE EXPRESS: 12/10/10
 PROJECT LANE MILES PUBLIC: 0.000
 PROJECT LANE MILES PRIVATE: 0.000
 CONTRACTOR: ROCK MOUNTAIN ENGINEERING AND SURVEYING, INC.
 RECORD DRAWING: 10/26/11 BY: JRM/RSB
 TO CORRECT ACCIDENTS AND SETBACK OF THE PUBLIC AND PRIVATE RIGHTS TO THE PROPERTY.
 PERMIT REQUIRED: (509) 477-9600
 1000 WEST WALTON AVENUE, SUITE 100
 SPokane, WA 99201

PHASING NOTE:
PHASE 1:
 THE IMPROVEMENTS IN THIS PLAN SET WILL BE CONSTRUCTED IN TWO PHASES. PHASE ONE INCLUDES THE EXTENTS OF THE IMPROVEMENTS ASSOCIATED WITH MAYAMA STREET, MORILL COURT, DEARBORNE STREET AND 22ND AVE FROM STATION 7+26.75 TO STATION 7+25.75. A TEMPORARY ACCESS ROAD SHALL BE CONSTRUCTED PER DETAIL B, SHEET 10. ADDITIONALLY, STORM POND "A" TOP AND ALL ASSOCIATED STRUCTURES AND ACCESS ROADS SHALL BE CONSTRUCTED IN PHASE ONE. ALL PIPING IN PHASE ONE SHALL BE STUBBED OUT A MINIMUM OF 10 FEET PAST THE PHASE LINE AND CAPPED FOR FUTURE CONNECTION.
PHASE 2:
 INCLUDES LLOYD COURT AND THE PORTION OF 22ND AVENUE FROM STATION 7+26.75 TO STATION 12+15.12. ADDITIONALLY, STORM POND "C", "D", "E" AND ALL ASSOCIATED STRUCTURES AND ACCESS ROADS SHALL BE CONSTRUCTED IN PHASE TWO.

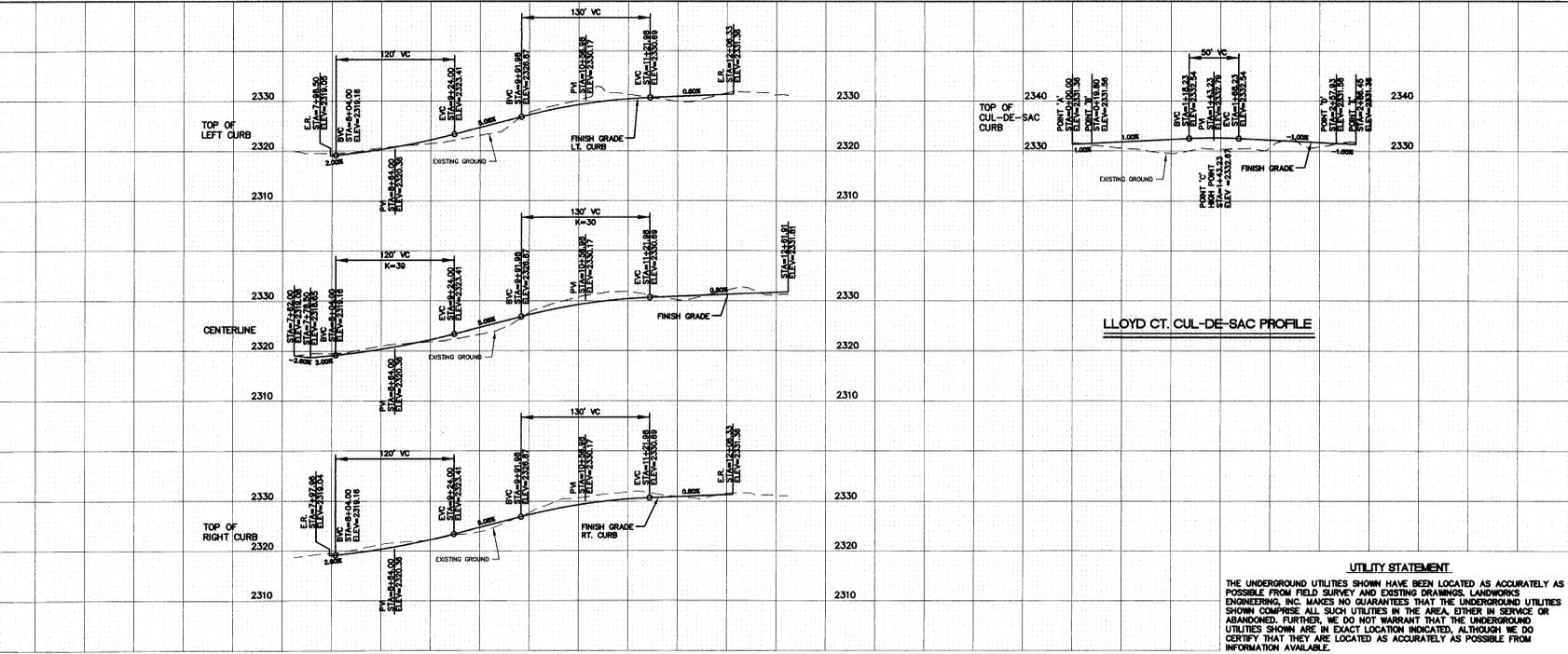
- DRIVEWAY CONSTRUCTION NOTES:**
- CONTRACTOR TO INSTALL DRIVEWAY APPROACH/WER PER DETAIL 2, SHEET 9 FOR THE FOLLOWING LOTS: LOTS 1-10 AND LOTS 18-18, BLOCK 2.
 - CONTRACTOR TO INSTALL DRIVEWAY APPROACH PER SPOKANE COUNTY STANDARD PLAN NO A-4 FOR THE FOLLOWING LOTS: LOTS 1-4 AND LOTS 12-14, BLOCK 1, LOTS 19-22 AND 28-36, BLOCK 2.
 - CONTRACTOR TO INSTALL CURB DROPS ONLY FOR THE FOLLOWING LOTS: LOTS 5-11 AND 15, BLOCK 1, LOTS 11-15 AND 23-27, BLOCK 2.
 - ALL DRIVEWAY APPROACHES SHALL HAVE A 24" BOTTOM WIDTH UNLESS OTHERWISE NOTED ON THE PLANS.



INTERSECTION DETAIL
 STA. 7+492.00, LLOYD CT.
 STA. 7+90.20, 22ND AVE.

HANDICAP RAMP, PER SPOKANE COUNTY STD. PLAN A-5. (TYPICAL)

UNDERGROUND SERVICE ALERT
 ONE-CALL NUMBER
456-8000
 CALL TWO BUSINESS DAYS BEFORE YOU DIG



CENTRE COURT ADD. + 1ST ADD.
LLOYD COURT
 STA. 7+62.00 TO STA. 12+61.91



SPOKANE COUNTY PUBLIC WORKS
 DIVISION OF PUBLIC UTILITIES
 1000 WEST WALTON AVENUE
 SPOKANE, WA 99201
VERTICAL CURVE, WAD 10
 DATE: 12/10/10
 DRAWN BY: JRM/RSB
 CHECKED BY: JRM/RSB
 APPROVED BY: JRM/RSB
 DATE: 12/10/10

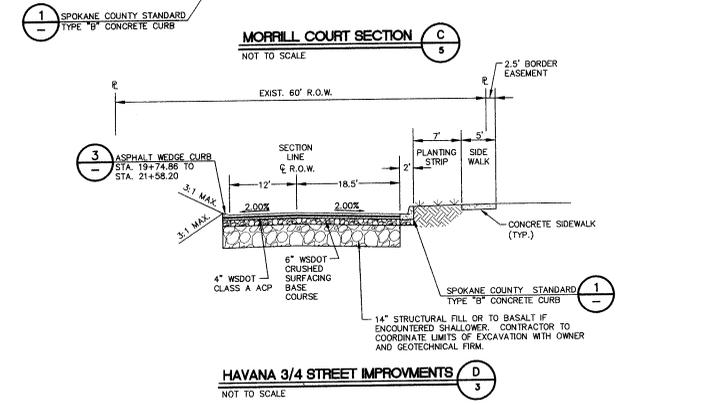
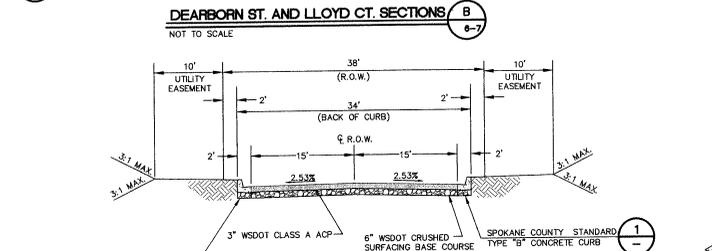
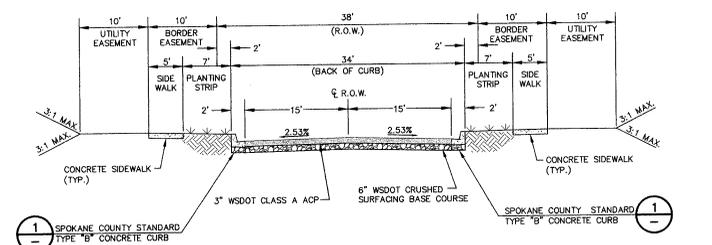
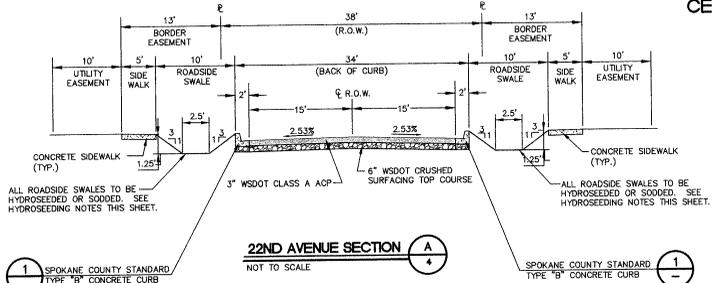
UTILITY STATEMENT
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DEVELOPER'S APPROVAL
 DATE: 12/10/10

P2003 of 2008 Rural Engineer Drawing

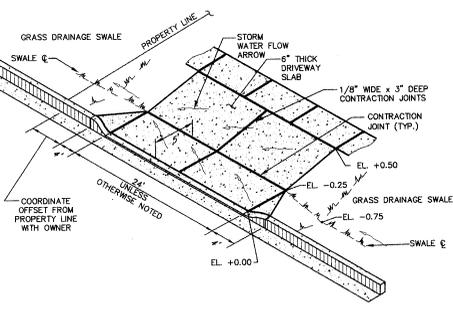
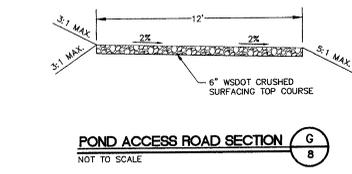
CENTRE COURT ADDITION AND 1ST ADDITION

S. 26, T.25N, R.43E., W.M.

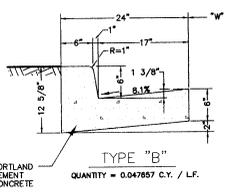
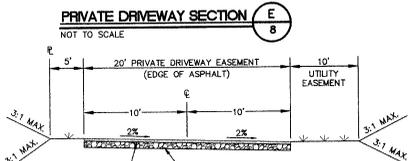
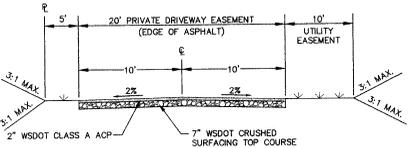


GRADING NOTE:
ALL IMPORT MATERIAL SHALL BE FREE DRAINING WITH A MAXIMUM OF 10% PASSING THE #200 SIEVE. IF PROPOSED IMPORT MATERIAL VARIES FROM SPECIFICATION THE CONTRACTOR SHALL COORDINATE WITH OWNER AND GEOTECHNICAL ENGINEER TO EVALUATE THE PROPOSED MATERIAL.

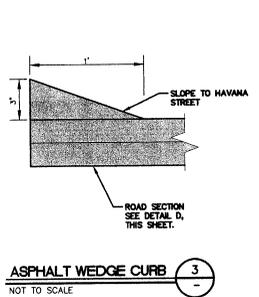
HYDROSEEDING NOTES:
1. GRASS SEED: PROVIDE FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE OF PURITY AND GERMINATION ESTABLISHED BY THE OFFICIAL SEED ANALYSIS OF NORTH AMERICA. PROVIDE SEED MIXTURE COMPOSED OF GRASS SPECIES AND PERCENTAGE AS FOLLOWS:
10% ELKA PERENNIAL RYE
25% DURAR HARD FESCUE
45% COVAR SHEEP FESCUE
20% REUBENS CANADIAN BLUEGRASS
PROVIDE MIXTURE COMPOSED OF GRASS SEED AND FERTILIZER IN PERCENTAGES AS FOLLOWS:
GRASS SEED: 90 lbs. PER ACRE
FERTILIZER: 16-16-16 16-TIME RELEASE COMPOSITION, 300 lbs. PER ACRE.



SPOKANE COUNTY PUBLIC WORKS
OFFICIAL PUBLIC DOCUMENT ORIGINAL
CONSTRUCTION PLANS
PROJECT # **240434N-C-24**
DATE ACCEPTED: **04/24/24**
PROJECTS LANE MALES PRIVATE
CONTRACTOR DOCUMENTATION AND CERTIFICATION
PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF
THE ROAD AND CHANNEL FACILITIES RULE FOR MAINTENANCE:
PERMIT REQUIRED (1) (FORM 467-900)
NOTIFY PERMIT OFFICE 14 BUSINESS DAYS
BEFORE START OF CONSTRUCTION



- GENERAL NOTES**
- PORTLAND CEMENT CONCRETE SHALL BE CLASS 3000 CONFORMING TO THE STANDARD SPECIFICATIONS.
 - WEATHERED PLANE JOINTS FOR PORTLAND CEMENT CONCRETE SHALL BE PLACED AT 15' INTERVALS.
 - 3/8" EXPANSION JOINTS IN PORTLAND CEMENT CONCRETE SHALL BE PLACED AT CURB RETURNS.
 - EPOXY CEMENT SHALL BE APPLIED AT A 10-15 MIL THICKNESS AND SHALL CONFORM TO THE REQUIREMENTS OF SECTION 9-28 OF THE STANDARD SPECIFICATIONS.
 - THE FINISH SHALL BE STEEL TROWELLED TO PROVIDE A DENSE, SMOOTH REFLECTIVE FINISH.
 - TO BE USED ONLY IN SPECIAL CASES WITH APPROVAL OF THE COUNTY ENGINEER.
 - CURBS SHALL HAVE A LIGHT BROMIUM FINISH. GUTTERS SHALL BE FINISHED WITH A STEEL TROWEL.



UTILITY STATEMENT
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UNDERGROUND SERVICE ALERT
ONE-CALL NUMBER
456-8000
CALL TWO BUSINESS DAYS BEFORE YOU DIG

LANDWORKS ENGINEERING
1371 N. PALM BLVD. SUITE 100, WAHWAH, WA 97146
PHONE: (509) 259-2555 FAX: (509) 259-1978

CENTRE COURT ADD. + 1ST ADD.
ROAD SECTIONS AND DETAILS

DATE: **4/24/24**

SCALE: **HOR. NTS**
VERT. NTS

BY: **LANDWORKS ENGINEERING, INC.**
DESIGNED BY: **LANDWORKS ENGINEERING, INC.**
CHECKED BY: **LANDWORKS ENGINEERING, INC.**
DATE: **4/24/24**

SPOKANE COUNTY PUBLIC WORKS
DIVISION OF ROAD & HYDROSEEDING
SPOKANE, WA 99200
VERTICAL DATUM: NAVD 83
PROJECT: CENTRE COURT ADDITION + 1ST ADDITION
SHEET: 9 OF 16

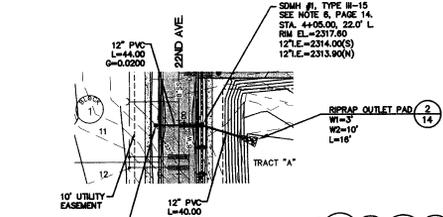
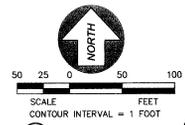
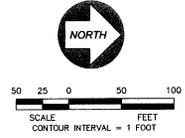
DEVELOPER'S APPROVAL
David M. ...

PHOTO PLOT # 07-002
CREATED BY: GIBB
CHECKED BY: GIBB

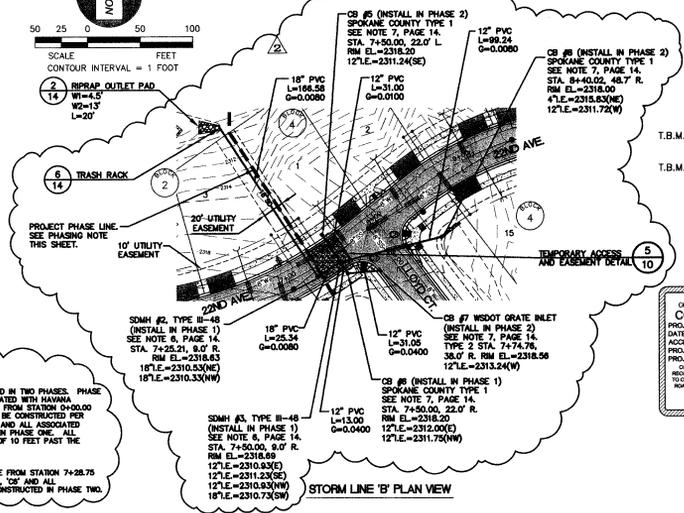
9 OF 16

P2023 & P2024 Brian Enders-Drewson

CENTRE COURT ADDITION AND 1ST ADDITION
S. 26, T.25N, R.43E, W.M.



STORM LINE 'A' PLAN VIEW



STORM LINE 'B' PLAN VIEW

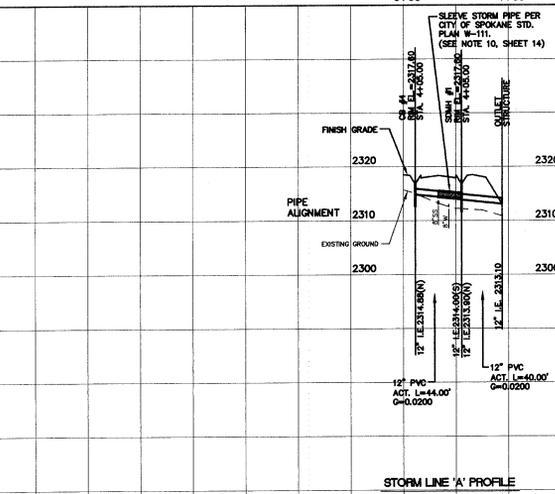
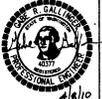
PHASING NOTE.

PHASE 1.
THE IMPROVEMENTS IN THIS PLAN SET WILL BE CONSTRUCTED IN TWO PHASES. PHASE ONE INCLUDES THE EXTENTS OF THE IMPROVEMENTS ASSOCIATED WITH HAWANA STREET, MORRIS COURT, DEARBORNE STREET AND 22ND AVE FROM STATION 0+00.00 TO STATION 7+28.75. A TEMPORARY ACCESS ROAD SHALL BE CONSTRUCTED PER DETAIL 5, SHEET 10. ADDITIONALLY, STORM POND 14, 12' AND ALL ASSOCIATED STRUCTURES AND ACCESS ROADS SHALL BE CONSTRUCTED IN PHASE ONE. ALL PAVING IN PHASE ONE SHALL BE STIPPED OUT A MINIMUM OF 10 FEET PAST THE PHASE LINE AND CAPPED FOR FUTURE CONNECTION.

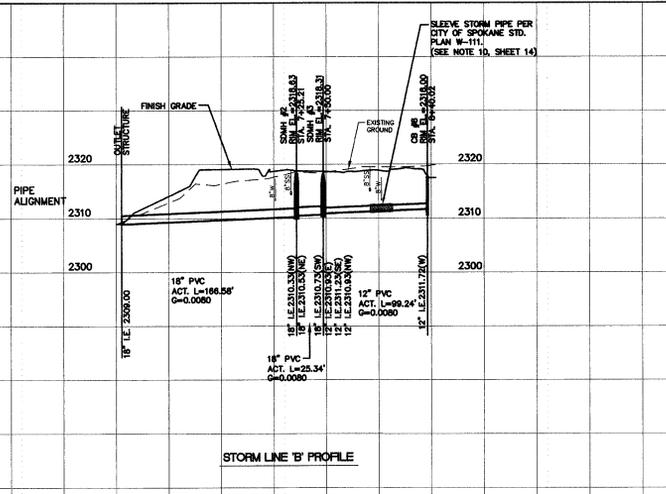
PHASE 2.
INCLUDES LLOYD COURT AND THE PORTION OF 22ND AVENUE FROM STATION 7+28.75 TO STATION 12+18.12. ADDITIONALLY, STORM POND 14, 12', 13', 13' AND ALL ASSOCIATED STRUCTURES AND ACCESS ROADS SHALL BE CONSTRUCTED IN PHASE TWO.

SPokane County Public Works
OFFICIAL PUBLIC DOCUMENT ORIGINAL
CONSTRUCTION PLANS
PROJECT # 23003 & 23008
DATE ACCEPTED 12/14/10
ACCEPTANCE EXP. 12/14/11
PROJECT LINE MILES PUBLIC 0.22
PROJECT LINE MILES PRIVATE 0.00
CONSTRUCTION DOCUMENTS HAVE BEEN REVIEWED
ACCORDING TO WAC 173-030. ALL SHOWN ARE REQUIRED FROM
A COUNTY ACCEPTANCE AND FURNISHMENT OF THE
OWNER AND PROGRAM FACILITIES FOR MAINTENANCE.
PERMIT REQUIRED. LOAN #17-0000
NORTH ARROW BY THE ENGINEER 2010

UNDERGROUND SERVICE ALERT
ONE-CALL NUMBER
456-8000
CALL TWO BUSINESS DAYS
BEFORE YOU DIG



STORM LINE 'A' PROFILE



STORM LINE 'B' PROFILE

UTILITY STATEMENT

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CENTRE COURT ADD. + 1ST ADD.
STORM LINE 'A' AND 'B'

SPokane County Public Works
DIVISION OF ROAD & SPOKANE STD.
1000 W. WALTON, WA 99001
509.455.3200
WWW.SPOKANE.COUNTY.WA.GOV

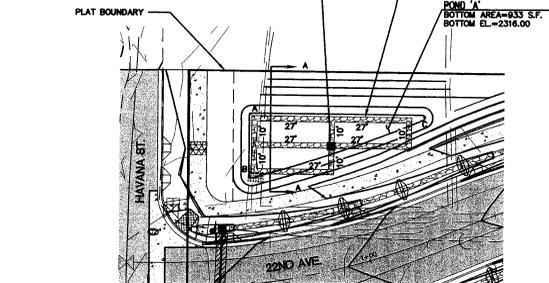
REVISIONS:
BY DATE REVISION
1 4/9/2010
2 4/9/2010
3 4/9/2010
4 4/9/2010
5 4/9/2010
6 4/9/2010
7 4/9/2010
8 4/9/2010
9 4/9/2010
10 4/9/2010

DATE 4-9-2010
SCALE HORIZ 1"=50'
VERT 1"=5'
DESIGNED BY: J. Smith
CHECKED BY: J. Smith
STORM 12 OF 16

P2003 & P2008A Renew English Drainage

POND 'A'		
ITEM	NORTHING	EASTING
A	9883.22	10053.30
B	9899.19	10053.39
C	9892.13	10118.23

CB #1
SPOKANE COUNTY TYPE 1
SEE NOTE 7, SHEET 14.
STA. 0+87.31, 45.8' LT.
RM EL. 2316.00
4" I.E. 2314.33 (N.E.S.W.)



POND 'A' DETAIL
(INSTALL IN PHASE 1)
SCALE: 1"=20'

CENTRE COURT ADDITION AND 1ST ADDITION
S. 26, T.25N., R.43E., W.M.

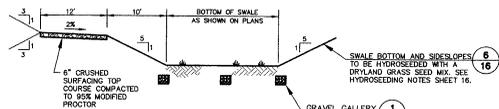


POND 'A' SECTION A-A
NOT TO SCALE

SWALE BOTTOM AND SIDESLOPES TO BE HYDROSEEDED WITH A DRYLAND GRASS SEED MIX. SEE HYDROSEEDING NOTES SHEET 16.

SWALE BOTTOM AND SIDESLOPES TO BE HYDROSEEDED WITH A DRYLAND GRASS SEED MIX. SEE HYDROSEEDING NOTES SHEET 16.

POND 'C4', 'C5' AND 'C6' SECTION B-B
NOT TO SCALE



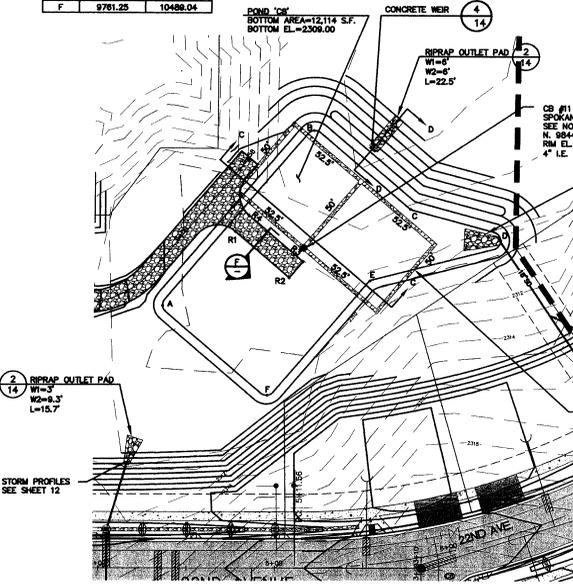
POND 'C8' SECTION C-C
NOT TO SCALE

CB #11
SPOKANE COUNTY TYPE 1
SEE NOTE 7, SHEET 14.
N. 9844.82 E. 10508.08
RM EL. 2309.50
4" I.E. 2307.16 (N.E.S.W.)

POND 'C8'		
ITEM	NORTHING	EASTING
A	9812.04	10429.64
B	9911.67	10514.82
C	9898.99	10508.66
D	9848.23	10820.72
E	9828.32	10548.91
F	9781.25	10488.04

ACCESS ROAD

ITEM	NORTHING	EASTING	ELEVATION
R1	9854.24	10470.36	2309.50
R2	9827.89	10501.18	2309.50
R3	9837.01	10508.89	2309.50
R4	9883.96	10478.16	2309.50



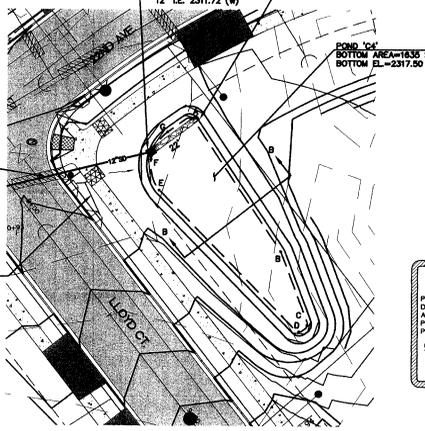
POND 'C8' DETAIL
(INSTALL IN PHASE 1)
SCALE: 1"=20'

PHASING NOTE:

PHASE 1:
THE IMPROVEMENTS IN THIS PLAN SET WILL BE CONSTRUCTED IN TWO PHASES. PHASE ONE INCLUDES THE EXTENTS OF THE IMPROVEMENTS ASSOCIATED WITH HAVANA STREET, CENTRE COURT, DEERING STREET AND 2ND AVE FROM STATION 0+40.00 TO STATION 7+28.70. A TEMPORARY ACCESS ROAD SHALL BE CONSTRUCTED PER DETAIL 3, SHEET 10. ADDITIONALLY, STORM PONDS 'A', 'C2' AND ALL ASSOCIATED STRUCTURES AND ACCESS ROADS SHALL BE CONSTRUCTED IN PHASE ONE. ALL PIPING IN PHASE ONE SHALL BE STRUCK OUT A MINIMUM OF 10 FEET PAST THE PHASE LINE AND CHANGED TO PERMANENT CONNECTION.

PHASE 2:
THE REMAINDER OF CENTRE COURT AND THE PORTION OF 2ND AVENUE FROM STATION 7+28.75 TO STATION 12+15.12. ADDITIONALLY, STORM POND 'C4', 'C5', 'C6' AND ALL ASSOCIATED STRUCTURES AND ACCESS ROADS SHALL BE CONSTRUCTED IN PHASE TWO.

CB #1
SPOKANE COUNTY TYPE 1
SEE NOTE 7, SHEET 14.
STA. 8+40.02, 48.7 RT.
RM EL. 2318.00
4" I.E. 2315.83 (N.E.)
12" I.E. 2311.72 (W)



POND 'C4' DETAIL
(INSTALL IN PHASE 2)
SCALE: 1"=20'

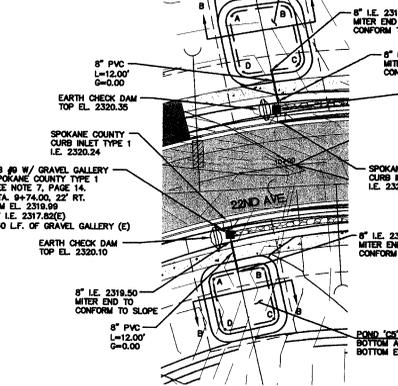
POND 'C4'		
ITEM	NORTHING	EASTING
A	9760.88	10848.10
B	9710.37	10890.40
C	9883.43	10860.21
D	9880.10	10887.31
E	9733.82	10834.31
F	9745.28	10831.41
G	9755.81	10837.58

SPOKANE COUNTY PUBLIC WORKS
OFFICIAL PUBLIC DOCUMENT ORIGINAL
CONSTRUCTION PLANS
PROJECT # 220844
DATE APPROVED: 03/25/20
PROJECT LEAD: MILES PERKINS
PROJECTS LABEL: MILES PUBLIC
CONSTRUCTION DOCUMENTATION AND CERTIFIED RECORDS PREPARED BY: GREG GIBSON
TO COUNTY ACCEPTANCE AND ESTABLISHMENT OF THE RECORDS AND PROGRESS TRACKING FOR IMPROVEMENTS
PERMIT REQUIRED: YES 47' 3600
APPLY PERMITS: 1 208 47' 3600
1 208 220844-010

NOTE: SEE DRAINAGE NOTES PAGE 14.

POND 'C5'		
ITEM	NORTHING	EASTING
A	9905.41	10928.18
B	9908.57	10946.97
C	9887.00	10951.43
D	9883.92	10930.72

CB #10
SPOKANE COUNTY TYPE 1
SEE NOTE 7, SHEET 14.
STA. 9+74.00, 22' RT.
RM EL. 2319.50
4" I.E. 2317.82(E)
180 LF. OF GRAVEL GALLERY (E)



POND 'C5' AND 'C6' DETAILS
(INSTALL IN PHASE 2)
SCALE: 1"=20'

POND 'C6'		
ITEM	NORTHING	EASTING
A	9805.43	10920.19
B	9809.81	10938.59
C	9790.70	10942.89
D	9786.53	10924.53

CB #10 W/ GRAVEL GALLERY
SPOKANE COUNTY TYPE 1
SEE NOTE 7, PAGE 14.
STA. 9+83.36, 21.8' LT.
RM EL. 2322.12
4" I.E. 2318.05(E)
180 LF. OF GRAVEL GALLERY (E)



POND ACCESS ROAD
NOT TO SCALE



CENTRE COURT ADD. + 1ST ADD.
DRAINAGE POND DETAIL SHEET



SPokane County Public Works
1000 N. MILWAUKEE AVE.
SPOKANE, IDAHO 83402
PHONE: 477-3600
FAX: 477-3601

4/9/20
DATE

477-3600
GREG GIBSON
REGISTERED PROFESSIONAL ENGINEER
EXPIRES 12/31/2020
ISSUED TO OWNER PROJECT PHOTO NUMBER

PHASE 1: 07-2020
DESIGNED BY: GREG GIBSON
CHECKED BY: GREG GIBSON

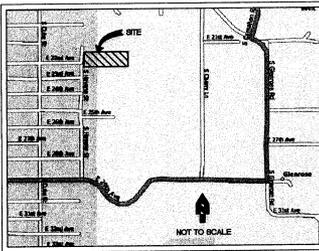
UNDERGROUND SERVICE ALERT
ONE-CALL NUMBER
456-8000
CALL TWO BUSINESS DAYS BEFORE YOU DIG

CENTRE COURT ADDITION AND 1ST ADDITION
S. 26, T.25N, R.43E., W.M.



SCALE
50 25 0 50 100
FEET
CONTOUR INTERVAL = 1 FOOT

T.B.M. #1 IRON PIPE SE PROP CORNER
E.L. 2316.25
T.B.M. #2 FOUND REBAR W/ RAMER CAP
AT NW CORNER OF PROPERTY.
E.L. 2316.88

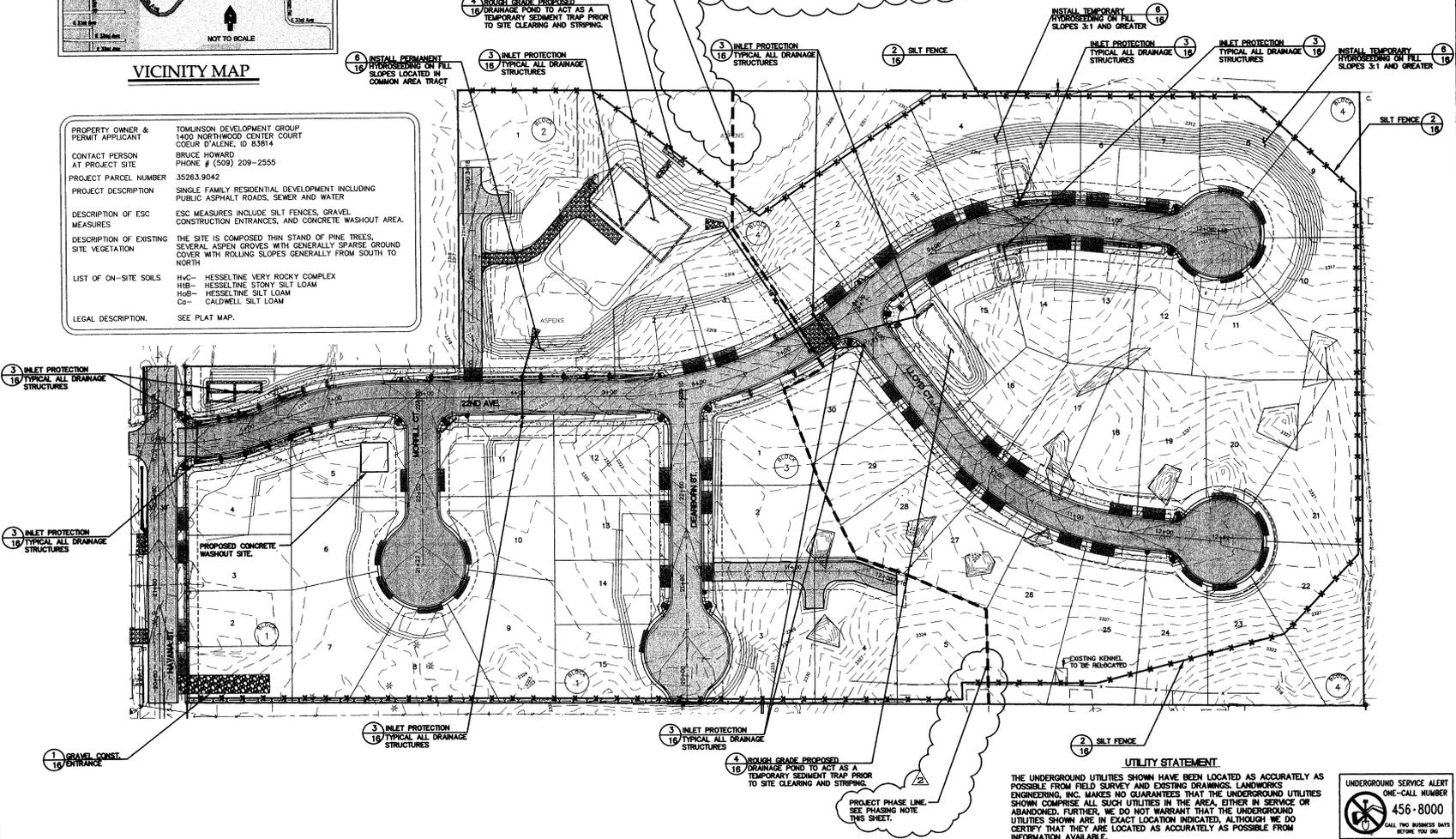


VICINITY MAP

PROPERTY OWNER & PERMIT APPLICANT	TOMLINSON DEVELOPMENT GROUP 1400 NORTHWOOD CENTER COURT COEUR D'ALENE, ID 83814
CONTACT PERSON AT PROJECT SITE	BRUCE HOWARD PHONE # (509) 209-2555
PROJECT PARCEL NUMBER	35263.9042
PROJECT DESCRIPTION	SINGLE FAMILY RESIDENTIAL DEVELOPMENT INCLUDING PUBLIC ASPHALT ROADS, SEWER AND WATER
DESCRIPTION OF ESC MEASURES	ESC MEASURES INCLUDE SILT FENCES, GRAVEL CONSTRUCTION ENTRANCES, AND CONCRETE WASHOUT AREA.
DESCRIPTION OF EXISTING SITE VEGETATION	THE SITE IS COMPOSED THIN STAND OF PINE TREES, SEVERAL ASPEN GROVES WITH GENERALLY SPARSE, GROUND COVER WITH ROLLING SLOPES GENERALLY FROM SOUTH TO NORTH
LIST OF ON-SITE SOILS	HvC- HESSELINE VERY ROCKY COMPLEX H1B- HESSELINE STONY SILT LOAM H6B- HESSELINE SILT LOAM Cg- CALDWELL SILT LOAM
LEGAL DESCRIPTION:	SEE PLAT MAP.

PHASING NOTE:
PHASE 1
THE IMPROVEMENTS IN THIS PLAN SET WILL BE CONSTRUCTED IN TWO PHASES. PHASE ONE INCLUDES THE EXTENTS OF THE IMPROVEMENTS ASSOCIATED WITH HAYAMA STREET, MORILL COURT, BURNINGE STREET AND 22ND AVE FROM STATION 7+80.75 TO STATION 7+83.75. A TEMPORARY ACCESS ROAD SHALL BE CONSTRUCTED PER DETAIL 5, SHEET 10. ADDITIONALLY, STORM POND 'A', 'C' AND ALL ASSOCIATED STRUCTURES AND ACCESS ROADS SHALL BE CONSTRUCTED IN PHASE ONE. ALL PAVING IN PHASE ONE SHALL BE STUBBED OUT A MINIMUM OF 10 FEET PAST THE PHASE LINE AND CAPPED FOR FUTURE CONNECTION.
PHASE 2
INCLUDES LLOYD COURT AND THE PORTION OF 22ND AVENUE FROM STATION 7+28.75 TO STATION 12+10.15. ADDITIONALLY, STORM POND 'CA', '10', '10' AND ALL ASSOCIATED STRUCTURES AND ACCESS ROADS SHALL BE CONSTRUCTED IN PHASE TWO.

SINCLAIR COUNTY PUBLIC WORKS
OFFICIAL PUBLIC DOCUMENT ORIGINAL
CONSTRUCTION OF PLANS
PROJECT NO. 2003-0001
DATE ACCEPTED: 12/20/03
ACCEPTANCE EXP. DATE: N/A
PROJECT LANE MILES PUBLIC: 0.21
PROJECT LANE MILES PRIVATE: 0.00
CONSTRUCTION DOCUMENTATION AND CERTIFIED RECORD DRAWINGS. NUMBER OF SHEETS REQUIRED FROM THIS SET: 10. NUMBER OF SHEETS SUBMITTED FROM THIS SET: 10. NUMBER OF SHEETS REQUIRED FROM RECORD DRAWINGS FOR MAINTENANCE: 10. PERMIT TECHNICIAN: (208) 474-0100
SEWER: PERMIT NUMBER: 2003-0001
WATER: PERMIT NUMBER: 2003-0001



CENTRE COURT ADD. + 1ST ADD.
TEMPORARY EROSION AND SEDIMENT CONTROL PLAN



SINCLAIR COUNTY PUBLIC WORKS
DIVISION OF ROADS & ENGINEERING
1500 S. 10TH AVE., W.A. 83706
PHONE # 477-5000
VERTICAL DATUM - MVD 85
CONSTRUCTION OF PLANS
DATE: 12/20/03
BY: [Signature]

DATE: 4-9-2010
PROJECT # 07-002
DESIGNED BY: GRS
CHECKED BY: GRS
SCALE: HOR 1"=50'
VERT: N/A
DEVELOPER'S APPROVAL: [Signature]
UNDERGROUND SERVICE ALERT
ONE-CALL NUMBER: 456-8000
CALL TWO BUSINESS DAYS BEFORE YOU DIG.
15 OF 16
P.2003-P2003A
Revision Eng. Lead Drawing

UTILITY STATEMENT
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED AS ACCURATELY AS POSSIBLE FROM FIELD SURVEY AND EXISTING DRAWINGS. LANDWORKS ENGINEERING, INC. MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, WE DO NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN EXACT LOCATION INDICATED, ALTHOUGH WE DO CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.



EROSION CONTROL NOTES:

- THE FOLLOWING CONSTRUCTION SEQUENCE SHALL BE FOLLOWED IN ORDER TO BEST MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT CONTROL PROBLEMS:
 - CLEAR AND GRUB SUFFICIENTLY FOR INSTALLATION OF TEMPORARY ESC BMP'S;
 - INSTALL TEMPORARY ESC BMP'S, CONSTRUCTING SEDIMENT TRAPPING BMP'S AS ONE OF THE FIRST STEPS PRIOR TO GRADING;
 - CLEAR, GRUB AND ROUGH GRADE FOR ROADS, TEMPORARY ACCESS POINTS AND UTILITY LOCATIONS;
 - STABILIZE ROADWAY APPROACHES AND TEMPORARY ACCESS POINTS WITH THE APPROPRIATE CONSTRUCTION ENTRY BMP;
 - CLEAR, GRUB AND GRADE INDIVIDUAL LOTS OR GROUPS OF LOTS;
 - TEMPORARILY STABILIZE, THROUGH RE-VEGETATION OR OTHER APPROPRIATE BMP'S, LOTS OR GROUPS OF LOTS IN SITUATIONS WHERE SUBSTANTIAL CUT OR FILL SLOPES ARE A RESULT OF THE SITE GRADING;
 - CONSTRUCT ROADS, BUILDINGS, PERMANENT STORMWATER FACILITIES (E. INLETS, PUMPS, UIC FACILITIES, ECT.);
 - PROTECT ALL PERMANENT STORMWATER FACILITIES UTILIZING THE APPROPRIATE BMP'S;
 - INSTALL PERMANENT ESC CONTROLS, WHEN APPLICABLE, AND,
 - REMOVE TEMPORARY ESC CONTROLS WHEN:
 - PERMANENT ESC CONTROLS, WHEN APPLICABLE, HAVE BEEN COMPLETELY INSTALLED;
 - ALL LAND-DEVELOPING ACTIVITIES THAT HAVE THE POTENTIAL TO CAUSE EROSION OR SEDIMENTATION PROBLEMS HAVE CEASED; AND,
 - VEGETATION HAD BEEN ESTABLISHED IN THE AREAS NOTED AS REQUIRING VEGETATION ON THE ACCEPTED ESC PLAN OR PER THE LOCAL JURISDICTION.

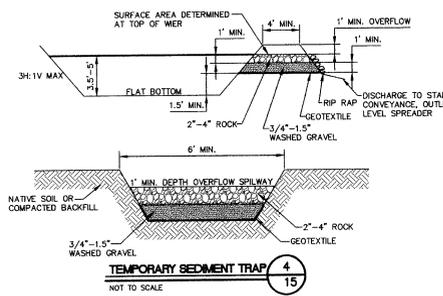
- INSPECT ALL ROADWAYS, AT THE END OF EACH DAY, ADJACENT TO THE CONSTRUCTION ACCESS ROUTE. IF IT IS EVIDENT THAT SEDIMENT HAS BEEN TRACKED OFF SITE AND/OR BEYOND THE ROADWAY GRADING, CLEANING IS REQUIRED.
- IF SEDIMENT REMOVAL IS NECESSARY PRIOR TO STREET WASHING, IT SHALL BE REMOVED BY SHOVELING OR PICKUP SWEEPING AND TRANSPORTED TO A CONTROLLED SEDIMENT DISPOSAL AREA.
- IF STREET WASHING IS REQUIRED TO CLEAN SEDIMENT TRACKED OFF SITE, ONCE SEDIMENT HAS BEEN REMOVED, STREET WASH WATER SHALL BE CONTROLLED BY PUMPING BACK ON-SITE OR OTHERWISEREMOVED TO A DISCHARGING INTO SYSTEMS TRIBUTARY TO WATERS OF THE STATE.
- RESTORE CONSTRUCTION ACCESS ROUTE EQUAL TO OR BETTER THAN THE PRE-CONSTRUCTION CONDITION.
- RETAIN THE DUFF LAYER, NATIVE TOPSOIL, AND NATURAL VEGETATION IN AN UNDISTURBED STATE TO THE MAXIMUM EXTENT PRACTICAL.
- INSPECT SEDIMENT CONTROL BMP'S WEEKLY AT A MINIMUM, DAILY DURING A STORM EVENT, AND AFTER ANY DISCHARGE FROM THE ROADWAY OR NON-STORMWATER. THE INSPECTION FREQUENCY MAY BE REDUCED TO ONCE A MONTH IF THE SITE IS STABILIZED AND INACTIVE.

- CONTROL FUGITIVE DUST FROM CONSTRUCTION ACTIVITY IN ACCORDANCE WITH THE STATE AND/OR LOCAL AIR QUALITY CONTROL AUTHORITIES WITH JURISDICTION OVER THE PROJECT AREA.
- STABILIZE EXPOSED UNWORKED SOILS (INCLUDING STOCKPILES), WHETHER AT FINAL GRADE OR NOT, WITHIN 10 DAYS DURING THE REGIONAL DRY SEASON (AUG 1 THROUGH SEPTEMBER 30) AND WITHIN 5 DAYS DURING THE REGIONAL WET SEASON (OCTOBER 1 THROUGH JUNE 30). SOILS MUST BE STABILIZED AT THE END OF A SHIFT BEFORE A HOLIDAY WEEKEND IF NEEDED BASED ON THE WEATHER FORECAST. THIS TIME LIMIT MAY ONLY BE ADJUSTED BY A LOCAL JURISDICTION WITH A "QUALIFIED LOCAL PROGRAM" IF IT CAN BE DEMONSTRATED THAT THE RECENT PRECIPITATION JUSTIFIES A DIFFERENT STANDARD AND MEETS THE REQUIREMENTS SET FORTH IN THE CONSTRUCTION STORMWATER GENERAL PERMIT.

- PROTECT INLETS, DRYWELLS, CATCH BASINS AND OTHER STORMWATER MANAGEMENT FACILITIES FROM SEDIMENT, WHETHER OR NOT FACILITIES ARE OPERABLE.
- KEEP ROADS ADJACENT TO INLETS CLEAN.
- INSPECT WEEKLY AT A MINIMUM AND DAILY DURING STORM EVENTS.
- CONSTRUCT STORMWATER CONTROL FACILITIES (DETENTION/RETENTION STORAGE POND OR SWALES) BEFORE GRADING BEGINS. THESE FACILITIES SHALL BE OPERATIONAL BEFORE THE CONSTRUCTION OF IMPERVIOUS SITE IMPROVEMENTS.
- STOCKPILE MATERIALS (SUCH AS TOPSOIL) ON SITE, KEEPING OFF OF ROADWAY AND SIDEWALKS.
- COVER, CONTAIN AND PROTECT ALL CHEMICALS, LIQUID PRODUCTS, PETROLEUM PRODUCT, AND NON-HAZARDOUS WASTES PRESENT ON SITE FROM VANDALISM (SEE CHAPTER 173-300 WAC FOR THE DEFINITION OF INERT WASTE), USE SECONDARY CONTAINMENT FOR ON-SITE FUELING TANKS.

- CONDUCT MAINTENANCE AND REPAIR OF HEAVY EQUIPMENT AND VEHICLES INVOLVING OIL CHANGES, HYDRAULIC SYSTEM REPAIRS, SOLVENT AND DE-GRASING OPERATIONS, FUEL TANK DRAIN DOWN AND REMOVAL, AND OTHER ACTIVITIES THAT MAY RESULT IN DISCHARGE OR SPILLAGE OF POLLUTANTS TO THE GROUND OR INTO STORMWATER RUNOFF CHANNELS USING SPILL PREVENTION DEVICES SHALL BE CLEANED, CLEAN ALL CONTAMINATED SURFACES IMMEDIATELY FOLLOWING ANY DISCHARGE OR SPILL INCIDENT, IF RAINING OVER EQUIPMENT OR VEHICLE, PERFORM EMERGENCY REPAIRS ON SITE USING TEMPORARY PLASTIC BENEATH THE VEHICLE.
- CONDUCT APPLICATION OF AGRICULTURAL CHEMICALS, INCLUDING FERTILIZERS AND PESTICIDES, IN SUCH A MANNER, AND AT APPLICATION RATES, THAT INHIBITS THE LOSS OF CHEMICALS INTO STORMWATER RUNOFF FACILITIES, AMONG MANUFACTURER'S RECOMMENDED APPLICATION RATES AND PROCEDURES TO MEET THIS REQUIREMENT, IF NECESSARY.
- INSPECT ON A REGULAR BASIS (AT A MINIMUM WEEKLY, AND DAILY DURING/AFTER A RUNOFF PRODUING STORM EVENT) AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMP'S TO ENSURE SUCCESSFUL PERFORMANCE OF THE BMP'S. NOTE THAT INLET PROTECTION DEVICES SHALL BE CLEANED OR REMOVED AND REPLACE BEFORE SIX INCHES OF SEDIMENT CAN ACCUMULATE.

- REMOVE TEMPORARY ESC BMP'S WITHIN 30 DAYS AFTER THE TEMPORARY BMP'S ARE NO LONGER NEEDED. PERMANENTLY STABILIZE AREAS THAT ARE DISTURBED DURING THE REMOVAL PROCESS.

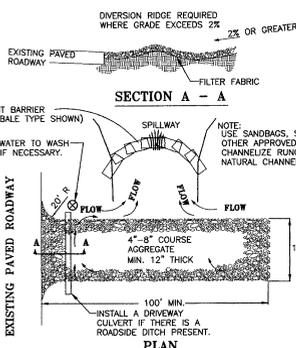


SUMMARY DESCRIPTION OF ESC BMP'S UTILIZED:

- CLEARING LIMITS**
- BMP C101 - PRESERVATION OF NATURAL VEGETATION
 - BMP C102 - BUFFER ZONES
- CONSTRUCTION ACCESS ROUTE**
- BMP C105 - STABILIZE CONSTRUCTION ENTRANCE
 - BMP C108 - WHEEL WASH
- INSTALL SEDIMENT CONTROLS**
- BMP C230 - STRAW BALE CHECK BARRIER
 - BMP C233 - SILT FENCE
 - BMP C240 - SEDIMENT TRAP
- SOIL STABILIZATION**
- BMP C120 - TEMPORARY AND PERMANENT SEEDING
 - BMP C125 - TOPSOILING
 - BMP C140 - DUST CONTROL
- PROTECTION OF INLETS**
- BMP C220 - STORM GRAIN INLET PROTECTION
- RUNOFF FROM CONSTRUCTION SITES**
- BMP C240 - SEDIMENT TRAP
- WASHOUT SITE FOR CONCRETE TRUCKS AND EQUIPMENT**
- BMP C151 - CONCRETE HANDLING
- MATERIAL STORAGE/STOCKPILE**
- BMP C150 - MATERIALS ON HAND
- CUT AND FILL SLOPES**
- BMP C200 - TEMPORARY AND PERMANENT SEEDING
 - BMP C207 - CHECK DAMS
- STABILIZATION OF TEMPORARY CONVEYANCE CHANNELS AND OUTLETS**
- BMP C207 - CHECK DAMS

NOTES:

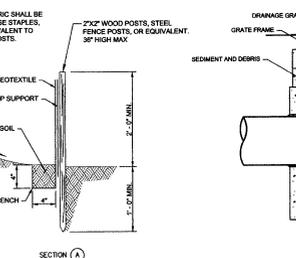
- Maximize retention of stormwater by placing bales as far away from base of slope as possible without encroaching on sensitive areas or outside of the clearing boundaries.
- Install all fencing along contours whenever possible.
- Install the ends of the fill or toe to point slightly up-slope to prevent sediment from flowing down the ends of the fence.
- Inspect and repair fence after each storm event and remove sediment when necessary.



- PLAN**
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO EXIST. ASPHALT ROADWAYS.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE, THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TEMPORARY GRAVEL CONSTRUCTION EXIT/ENTRANCE

NOT TO SCALE



STORM DRAIN INLET PROTECTIN

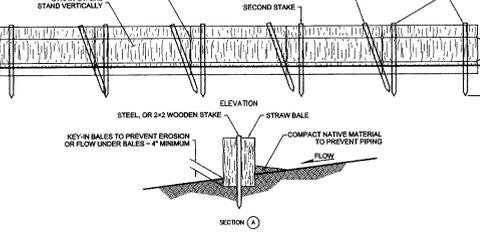
NOT TO SCALE

TEMPORARY SEEDING TABLE

(FOR ALL DISTURBED SOIL DURING CONSTRUCTION)

COMMON NAME	SEEDING RATE (lbs/acre)			
	A	B	C	D
winter or spring wheat (N)	80	80		
spring barley (N)			50	
ryegrass (N) or triticale (N)				15
annual ryegrass (N)				
perennial ryegrass (N)				
annual wheat + ryegrass hybrid (N)				
annual plant species				
(N) = non-native plant species				

THIS TABLE SHOWS SEEDING RATES FOR THE TEMPORARY STABILIZATION OF DISTURBED AREAS UNTIL PERMANENT VEGETATION OR OTHER LONG-TERM EROSION CONTROL MEASURES CAN BE ESTABLISHED. THEIR ANNUAL PLANTS WILL GENERALLY NOT SURVIVE MORE THAN ONE GROWING SEASON.

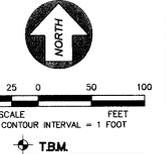


STRAW BALE BARRIER

NOT TO SCALE

CENTRE COURT ADDITION AND 1ST ADDITION

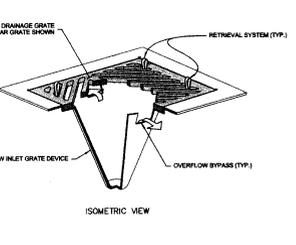
S. 26, T.25N, R.43E., W.M.



T.B.M. #1 IRON PIPE SE PROP CORNER E. 2316.25
T.B.M. #2 FOUND REBAR W/ RAMER CAP AT NW CORNER OF PROPERTY. E. 2318.69

STORAK COUNTY PUBLIC WORKS
OFFICIAL PUBLIC DOCUMENT ORIGINAL
CONSTRUCTION PLANS
PROJECT # 22-04-007-005
DATE ACCEPTED: 11/27/2025
ACCEPTANCE ENGINEER: [Signature]
PROJECTS ENGINEER: [Signature]
CONSTRUCTION DOCUMENTS AND PERMITS
DIVISION OF PUBLIC UTILITIES AND ENVIRONMENTAL
REGULATION AND STANDARDS
PERMIT REQUIREMENTS: 1708 477-0000
WWW.PUD.WA.GOV

- NOTES:**
- Size the Below Inlet Grate Device (BIGD) for the storm water structure it will serve.
 - The BIGD shall have a 2x6 in. 1/2 in. thick steel grate (preferably galvanized).
 - The retention system must allow removal of the BIGD without the need for the contractor's assistance.
 - The performance is in accordance with Standard Specification 6-01.21(15).



PERMANENT SEEDING TABLE

(FOR UPLAND AREAS WITH 18-24\"/>

COMMON NAME	Mixture (lbs/acre)		
	A	B	C
slender wheatgrass (N) or sodar streambank wheatgrass	7		
blue wildrye (N)		1	8
creosote brome (N)			8
hard fescue (N)	2	2	2
wheat clover (N) or red clover (N)			2
native legume (N) or vetches			2
lucerne (N)			2
native clover spp. (N) or milkvetch spp. (N)	2		
TOTAL	12	12	12
seeding (lb/acre)	64	64	76

THIS TABLE SHOWS THESE DIFFERENT EROSION CONTROL SEED MIXES FOR UPLAND AREAS THAT RECEIVE 18-24\"/>

HYDROSEEDING DETAIL

NOT TO SCALE

UTILITY STATEMENT

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED AS ACCURATELY AS POSSIBLE FROM FIELD SURVEY AND EXISTING DRAWINGS. LANDWORKS ENGINEERING, INC. MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHER, WE DO NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN EXACT LOCATION INDICATED, ALTHOUGH WE DO CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE.

UNDERGROUND SERVICE ALERT
CALL 811 BEFORE YOU DIG
456-8000
CAL. TOLL FREE 800-488-8000

LANDWORKS ENGINEERING, INC.
1714 N. 14TH ST. SUITE 100
SPokane, WA 99207
PH: 509-325-2000 FAX: 509-325-2001

CENTRE COURT ADD. + 1ST ADD.
TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

STORAK COUNTY PUBLIC WORKS
OFFICIAL PUBLIC DOCUMENT ORIGINAL
DATE: 11/27/2025
PROJECTS ENGINEER: [Signature]
CONSTRUCTION ENGINEER: [Signature]

STORAK COUNTY PUBLIC WORKS
OFFICIAL PUBLIC DOCUMENT ORIGINAL
DATE: 11/27/2025
PROJECTS ENGINEER: [Signature]
CONSTRUCTION ENGINEER: [Signature]

4-9-2010 DATE
BY: [Signature]
CHECKED BY: [Signature]
SCALE: HOR 1"=50'
VERT: N/A
DEVELOPER'S APPROVAL: [Signature]